



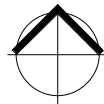
No.	DATE	REVISION	BY:	CHK:
P1	11.09.2023	ISSUE FOR APPROVAL	PR	JF
A	28.09.2023	FOR LODGEMENT	AS	JF

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PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
LOCALITY PLAN



TRUE NORTH

CLIENT:



DATE: SEPTEMBER, 2023
DRAWN BY: PR
SCALE: 1:5000 @ A1
SCALE: 1:10000 @ A3

JOB NO:	21366
DRAWING NO:	001
REVISION:	A





LEGEND

- SITE BOUNDARY
- EXISTING BUILDINGS
- EXISTING LEVEL CONTOURS
- EXISTING U/G STORMWATER SERVICES
- EXISTING U/G SEWER
- EXISTING ELECTRICAL SERVICES
- EXISTING OVERHEAD POWER CABLES
- TRANSMISSION EASEMENT
- FORESHORE BOUNDARY LIMIT
- BUILDING SETBACK
- LANDSCAPE SETBACK
- EXISTING FENCE LINE
- EXISTING TREES
- ▲ EXISTING VEHICLE CROSSOVERS



1- VIEW FROM CAPTAIN COOK DRIVE TOWARDS MAIN ENTRY



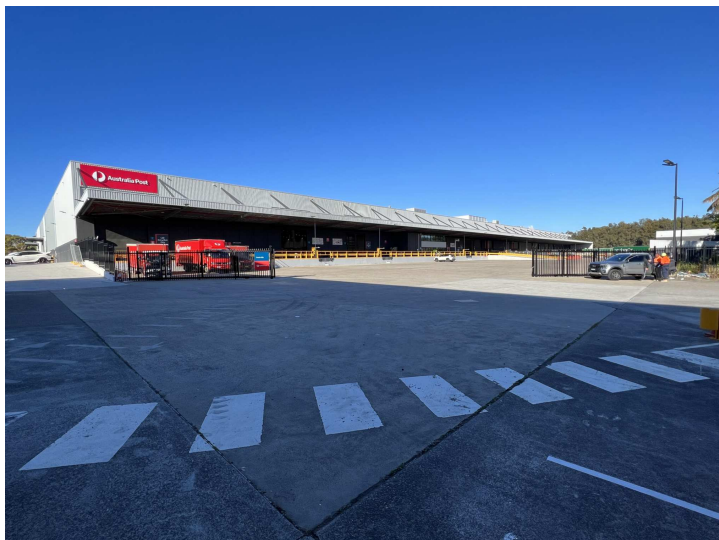
2- VIEW FROM CAPTAIN COOK DRIVE



3- VIEW FROM CAPTAIN COOK DRIVE FROM INDUSTRIAL ZONE



4- VIEW FROM MAIN ENTRY TOWARDS CAPTAIN COOK DRIVE



5- VIEW OF WAREHOUSE BUILDING FROM HARDSTAND



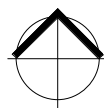
6- VIEW OF WOOLLOOWARE BAY FROM 'TOYOTA HOUSE' ROOF



7- VIEW OF SOLANDER FIELDS FROM 'TOYOTA HOUSE' ROOF

PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
SITE ANALYSIS



TRUE NORTH

CLIENT:

Aliro

DATE: SEPTEMBER, 2023
DRAWN BY: PR
SCALE: 1:1500 @ A1
SCALE: 1:3000 @ A3

JOB NO:	21366
DRAWING NO:	002
REVISION:	A

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P1	11.09.2023	ISSUE FOR APPROVAL	PR	JF
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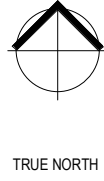
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TITLE:
EXISTING /SURVEY



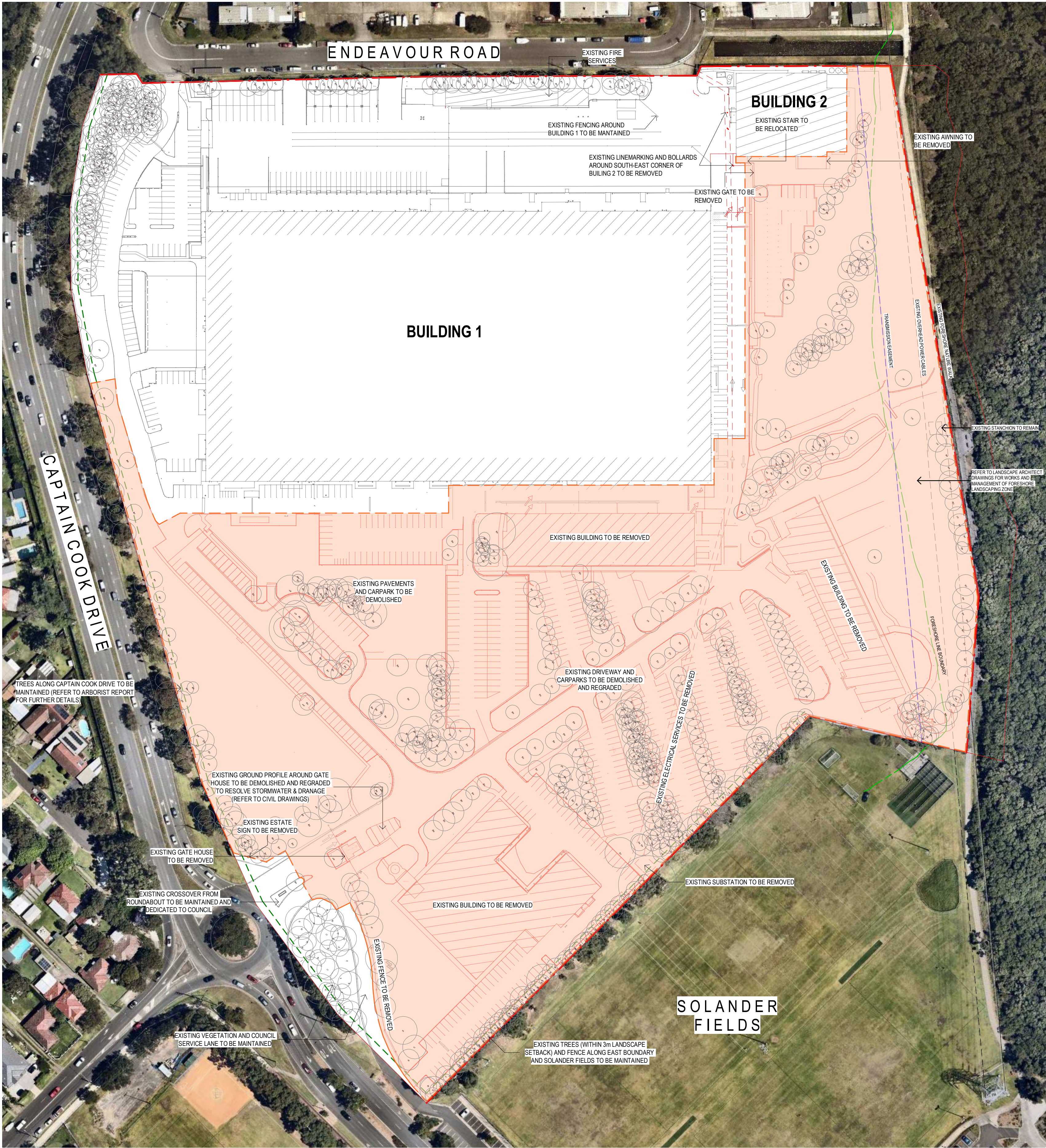
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DATE: SEPTEMBER, 2023
DRAWN BY: AS
SCALE: 1:1000 @ A1
SCALE: 1:2000 @ A3

JOB NO:	21366
DRAWING NO:	003
REVISION:	A





NOTES: DEMOLITION

EXTENT OF DEMOLITION WORKS SHOWN DASHED TO INCLUDE, BUT NOT BE LIMITED TO THE DEMOLITION & REMOVAL OF ALL WALLS, WALL LININGS, FRAMING SERVICES & POWER FITTINGS & FIXTURES, JOINERY UNITS & EXISTING FLOOR COVERINGS. REMOVE/REDIRECT ALL SERVICES TO SUIT NEW CONDITIONS.

THE BUILDER IS TO MAKE GOOD ALL SURFACES ON COMPLETION OF DEMOLITION INCLUDING BUT NOT LIMITED TO WALLS, PAINT, SKIRTING, GLAZING, CEILING AND FLOOR FINISHES.

CONTRACTOR IS TO CONFIRM LOCATION OF ALL EXISTING IN GROUND SERVICES PRIOR TO COMMENCEMENT OF WORKS.

ALL DEMOLITION WORKS ARE TO BE IN ACCORDANCE WITH APPLICABLE PORTIONS OF THE FOLLOWING CURRENT AUSTRALIAN STANDARDS:

- AS-2187
- AS-2436
- AS-2601
- AND ALSO MUST COMPLY WITH THE CURRENT REQUIREMENTS OF
- NCC
- LOCAL COUNCIL
- BASE BUILDING GUIDELINES

REFER TO PLANNING REPORT FOR STAGING OF DEMOLITION WORKS

LEGEND

- EXTENT OF WORKS
- EXISTING ELEMENTS TO BE DEMOLISHED
- EXISTING UNDERGROUND ELEMENTS TO BE DEMOLISHED
- ESTATE BOUNDARY
- FORESHORE LINE BOUNDARY
- TRANSMISSION EASEMENT
- LANDSCAPE SETBACK
- EXISTING TREE PROTECTION ZONE (REFER TO ARBORIST REPORT FOR FURTHER DETAILS ON TREES TO BE RETAINED)

No.	DATE	REVISION	BY:	CHK:
P1	09.08.2023	90% DA	AS	MH
P2	22.08.2023	90% DA	AS	JF
A	28.09.2023	FOR LODGEMENT	AS	JF
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PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
DEMOLITION PLAN



TRUE NORTH

CLIENT:

Aliro

DATE: SEPTEMBER, 2023
DRAWN BY: AS
SCALE: 1:1000 @ A1
SCALE: 1:2000 @ A3

JOB NO:	21366
DRAWING NO:	004
REVISION:	B

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NOTES

ALL NEW CROSSOVERS IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS

ALL DISABLED PARKING SPACES IN ACCORDANCE WITH AUSTRALIAN STANDARD AS2890 (5.4m x 2.4m)

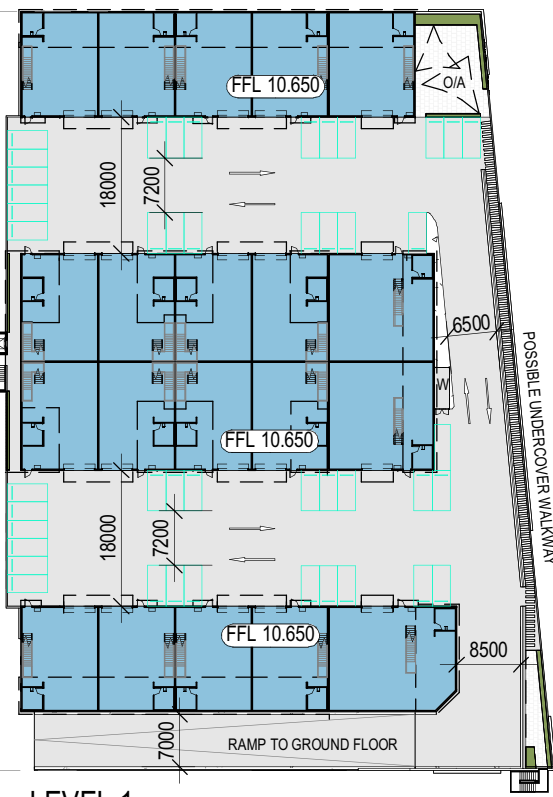
SITE STORMWATER DRAINAGE IN ACCORDANCE WITH LOCAL AUTHORITY & COUNCIL REQUIREMENTS

ALL RELATIVE LEVELS ARE SHOWN TO A H.D. (Australian Height Datum) LEVELS SHOWN ARE INDICATIVE ONLY AND SUBJECT TO FURTHER CIVIL DETAIL DESIGN. THESE MIGHT VARY +/- 1000 mm

EXTENT OF RETAINING WALLS SHOWN AS INDICATIVE ONLY SUBJECT TO CIVIL REVIEW

GROSS LETTABLE AREA (GLA) IS THE TOTAL FLOOR AREA OF A BUILDING, MEASURED FROM THE OUTSIDE OF EXTERNAL WALLS OR THE CENTRE OF PARTY WALLS AND INCLUDES ALL ROOFED AREAS

5% OF CARPARKING SPACES PROVIDED TO BE DEDICATED AS CAR SHARING BAYS
5% OF CARPARKING SPACES PROVIDED TO BE DEDICATED AS ELECTRICAL VEHICLE BAYS



LEVEL 1
BUILDING 4

DEVELOPMENT ANALYSIS

USE	GFA
BUILDING 3	
WAREHOUSE 3A	649 m ²
WAREHOUSE 3B	676 m ²
WAREHOUSE 3C	677 m ²
WAREHOUSE 3D	677 m ²
WAREHOUSE 3E	698 m ²
WAREHOUSE 3F	763 m ²
OFFICE 3A	126 m ²
OFFICE 3B	127 m ²
OFFICE 3C	127 m ²
OFFICE 3D	127 m ²
OFFICE 3E	127 m ²
OFFICE 3F	126 m ²
TOTAL AREA	4,900 m ²

BUILDING 4		
WAREHOUSE	GROUND LEVEL	4,249 m ²
WAREHOUSE	LEVEL 1	2,972 m ²
OFFICE	GROUND LEVEL	884 m ²
MEZZANINE		
OFFICE	LEVEL 1	937 m ²
MEZZANINE		
TOTAL AREA		9,042 m ²

BUILDING 5 BLOCK 1	
WAREHOUSE 5A	1,071 m ²
WAREHOUSE 5B	3,048 m ²
WAREHOUSE 5C	2,164 m ²
OFFICE 5A	333 m ²
OFFICE 5B	431 m ²
OFFICE 5C	403 m ²
TOTAL AREA	7,450 m ²

BUILDING 5 BLOCK 2	
WAREHOUSE 5D	2,732 m ²
WAREHOUSE 5E	2,023 m ²
OFFICE 5D	424 m ²
OFFICE 5E	391 m ²
TOTAL AREA	5,570 m ²

BUILDING 5 COMMERCIAL	
CAFE	112 m ²
CHILDCARE	648 m ²
CHILDCARE OUTDOOR	571 m ²
COMMERCIAL	554 m ²
TOTAL AREA	1,885 m ²

BUILDING 6	
WAREHOUSE 6A	892 m ²
WAREHOUSE 6B	1,688 m ²
OFFICE 6A	154 m ²
OFFICE 6B	181 m ²
ESTATE MANAGER OFFICE	27 m ²
TOTAL AREA	2,942 m ²

BUILDING 7	
WAREHOUSE 7A	698 m ²
WAREHOUSE 7B	647 m ²
WAREHOUSE 7C	644 m ²
WAREHOUSE 7D	696 m ²
WAREHOUSE 7E	647 m ²
WAREHOUSE 7F	644 m ²
OFFICE 7A	117 m ²
OFFICE 7B	118 m ²
OFFICE 7C	117 m ²
OFFICE 7D	110 m ²
OFFICE 7E	118 m ²
OFFICE 7F	117 m ²
TOTAL AREA	4,673 m ²

BUILDING 8	
WAREHOUSE 8A	744 m ²
WAREHOUSE 8B	633 m ²
OFFICE 8A	139 m ²
OFFICE 8B	130 m ²
TOTAL AREA	1,646 m ²

GRAND TOTAL GFA 38,108 m²

SITE COVERAGE	
TOTAL SITE AREA	123,898 m ²
BUILDING 3 - 8 FOOTPRINT	32,206 m ²
BUILDING 1 & 2 FOOTPRINT APPROX.	27,878 m ²
SITE COVERAGE APPROX.	48.49%
LANDSCAPING	13.25%

LEGEND

- ESTATE BOUNDARY
- FORESHORE LINE BOUNDARY
- TRANSMISSION EASEMENT
- LANDSCAPE SETBACK
- BUILDING SETBACK
- COUNCIL LAND DEDICATION
- 2.5 m BICYCLE & PEDESTRIAN SHARED PATH
- PEDESTRIAN CONCRETE FOOTPATH
- MAINTENANCE ACCESS TRACK & PEDESTRIAN PATH
- BIORETENTION BASIN / RAIN GARDEN
- EXISTING TREE PROTECTION ZONE
- PROPOSED TREE
- PYLON SIGN
- RW RETAINING WALL
- OA OUTDOOR AREA
- RWT RAIN WATER TANK
- W WASTE AREA
- MSB MAIN SWITCH BOARD
| PL | PARCEL LOCKERS |
| BG | BOOM GATE |
| RPC | RAISED PEDESTRAIN CROSSING |
| DP | DELIVERY PARKING BAY |
| SP | SHARED PARKING BAY (5%) |
| EV | ELECTRICAL VEHICLE BAY (5%) |
| EMO | ESTATE MANAGER OFFICE |

PARKING PROVISION

PARKING ALLOCATION SHOWN AS INDICATIVE ONLY

		CARS	BICYCLES
Building 1A		52	-
Building 1B		81	-
Building 1C		12	-
Building 1D		35	-
Building 1E		10	-
Building 2		12	-
Building 3		24	12
Building 4		121	64
Building 5 Block 1		48	12
Building 5 Block 2		13	8
Building 5 Childcare		17	4
Building 5 Commercial		15	8
Building 6		38	8
Building 7		62	12
Building 8		22	4
TOTAL		562	132

MOTORBIKES

20

No.	DATE:	REVISION:	BY:	CHK:
D	18.10.2024	FOR LODGEMENT	AS	JF
P21	06.12.2024	FOR INFORMATION	AS	JF
P22	14.01.2024	ISSUE FOR APPROVAL	AS	JF
E	12.02.2025	ISSUE FOR LODGEMENT	AS	JF
F	28.03.2025	ISSUE FOR LODGEMENT	AS	MH

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CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
ESTATE MASTERPLAN

CLIENT:

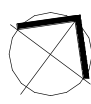


DATE: SEPTEMBER, 2023
DRAWN BY: AS
SCALE: 1:1000 @ A1
SCALE: 1:2000 @ A3

JOB NO:
21366

DRAWING NO:
005

REVISION:
F



TRUE NORTH



LEGEND

- HEAVY DUTY VEHICLE CIRCULATION
- LIGHT VEHICLE CIRCULATION
- PRIMARY 2.5m BYCICLE & PEDESTRIAN SHARED PATH
- SECONDARY CONNECTION TO FORESHORE / SOLANDER FIELDS
- EXISTING FORESHORE NATURE WALK
- PROPOSED FORESHORE WALKWAY
- AUSGRID MAINTENANCE ACCESS EASEMENT
- COMMON OUTDOOR AREAS

No.	DATE	REVISION	BY:	CHK:
P6	21.06.2023	ISSUE FOR APPROVAL	AS	JF
A	28.09.2023	FOR LODGEMENT	AS	JF
B	18.10.2024	FOR LODGEMENT	AS	JF
C	12.02.2025	ISSUE FOR LODGEMENT	AS	JF
D	28.03.2025	ISSUE FOR LODGEMENT	AS	MH

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PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
ACCESS MASTERPLAN



TRUE NORTH

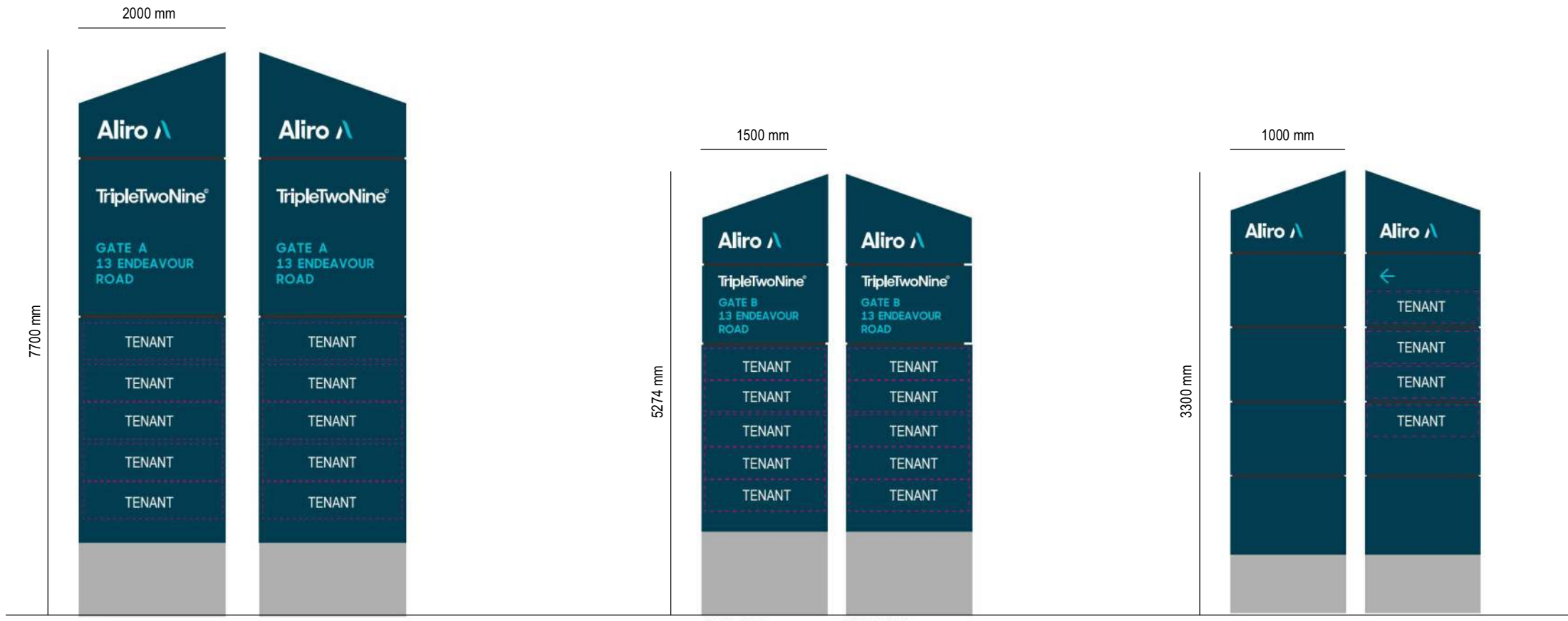
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DATE: SEPTEMBER, 2023
DRAWN BY: JG, AS
SCALE: 1:1000 @ A1
SCALE: 1:2000 @ A3

JOB NO:	21366
DRAWING NO:	006
REVISION:	D





PYLON - ID2F

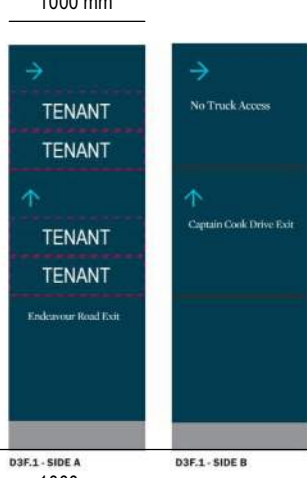
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- DOUBLE SIDED
- ILLUMINATED

PYLON - ID11F

- FREE STANDING
- DOUBLE SIDED
- ILLUMINATED

BLADE SIGN - D1F

- FREE STANDING
- DOUBLE SIDED
- ILLUMINATED



BLADE SIGN - D3F

- FREE STANDING
- DOUBLE SIDED
- ILLUMINATED



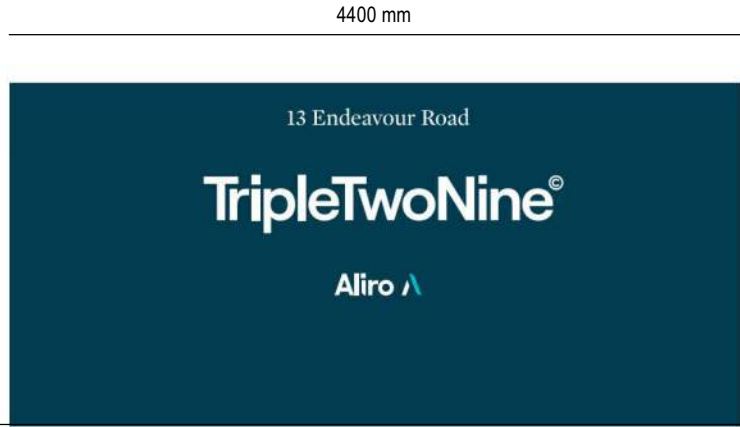
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- FREE STANDING
- DOUBLE SIDED
- ILLUMINATED



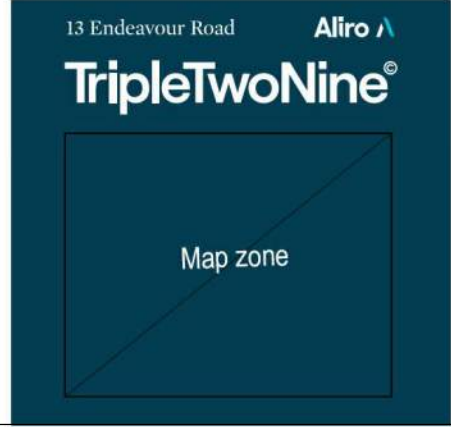
BLADE SIGN - D9F

- FREE STANDING
- DOUBLE SIDED
- ILLUMINATED



ESTATE BRANDING SIGN

- FREE STANDING
- DOUBLE SIDED
- ILLUMINATED



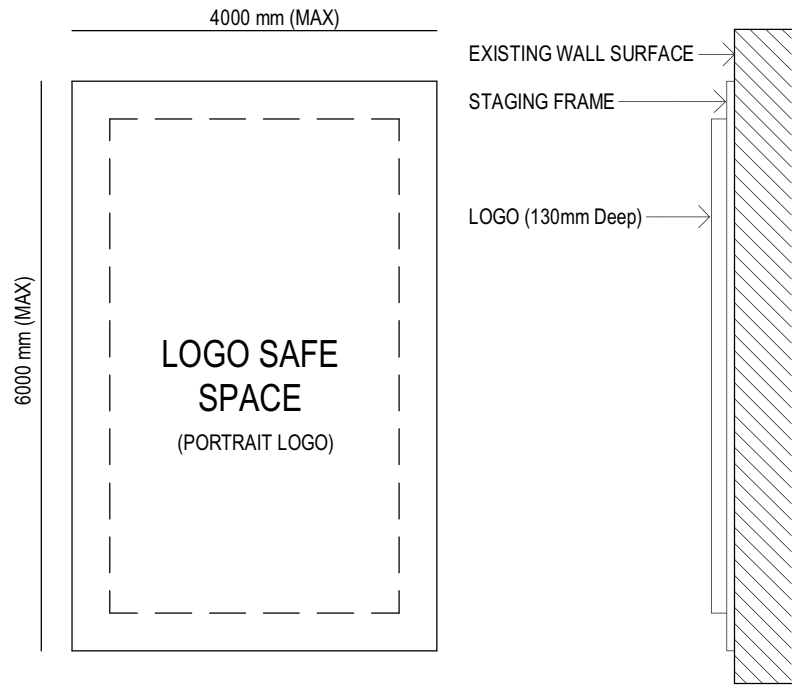
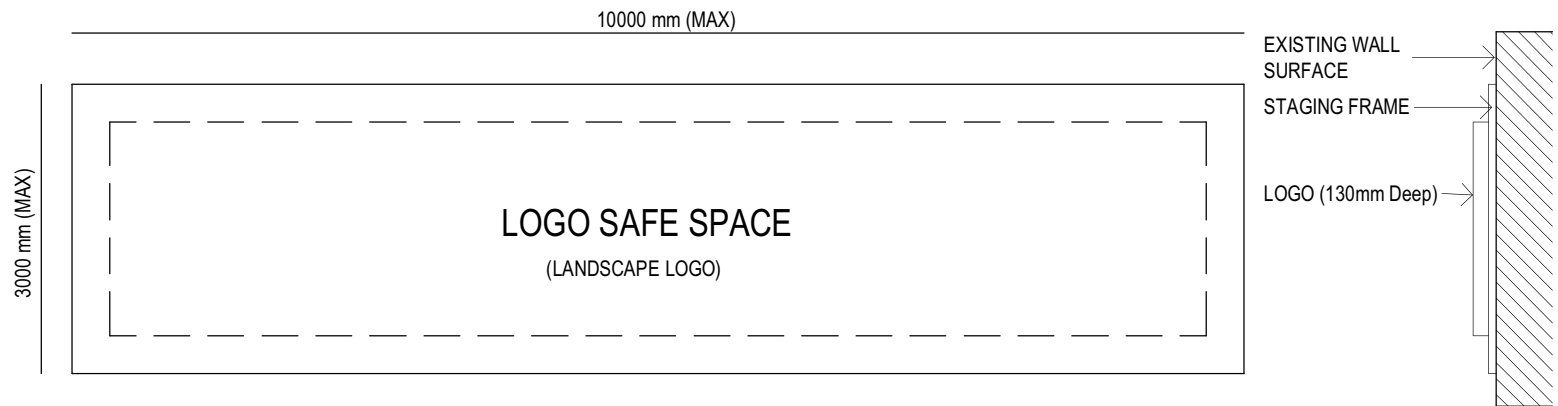
ESTATE MAP SIGN

- FREE STANDING
- SINGLE SIDED
- ILLUMINATED



FENCE SIGN WITH ESTATE MAP

- FENCE MOUNTED
- SINGLE SIDED
- ILLUMINATED



TENANT LOGO / ESTATE SIGN

- MAX 300mm DEPTH
- ILLUMINATED

REFER TO INDIVIDUAL BUILDING ELEVATIONS FOR LOCATION AND ORIENTATION

NOTES:
ALL SIGNAGE DIMENSIONS ARE INDICATIVE ONLY AND SUBJECT TO FURTHER DETAIL DESIGN.

ALL SIDES TO ILLUMINATE USING BOUNCE LED'S SUPPLIED WITH DIMMABLE DRIVERS AND DIMMER SWITCH.

ONLY THE SIDES OF THE SIGN / THREE DIMENSIONAL LOGO SHOULD ILLUMINATE, NOT THE FACE. ALL WIRES AND CABLES ARE TO BE CONCEALED WITHIN THE FRAME.

No.	DATE:	REVISION:	BY:	CHK:
PR	20.09.2023	ISSUE FOR APPROVAL	PR	JF
A	22.09.2023	FOR LODGEMENT	AS	JF
B	18.10.2024	FOR LODGEMENT	AS	JF
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D	28.03.2025	ISSUE FOR LODGEMENT	AS	MH

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PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
WAYFINDING & SIGNAGE



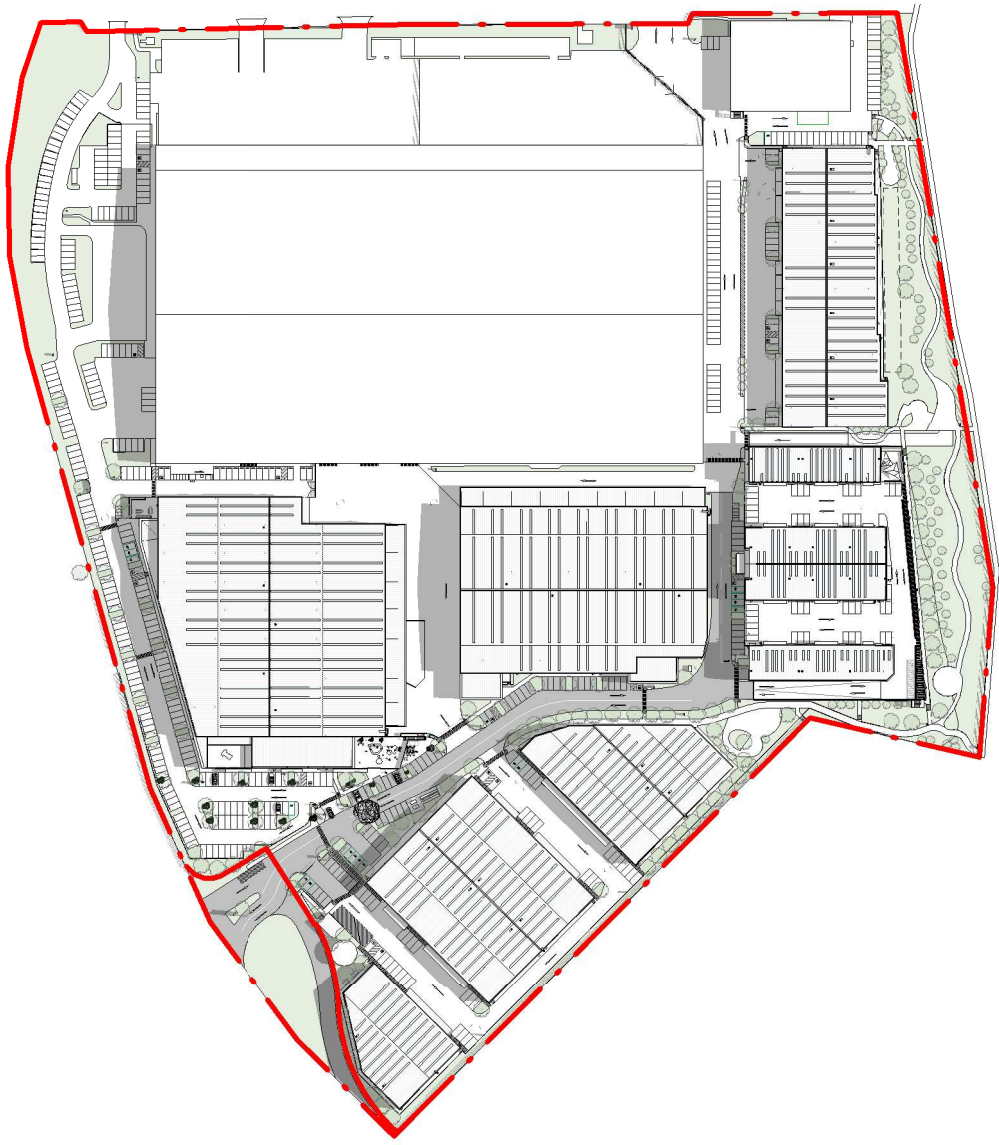
TRUE NORTH

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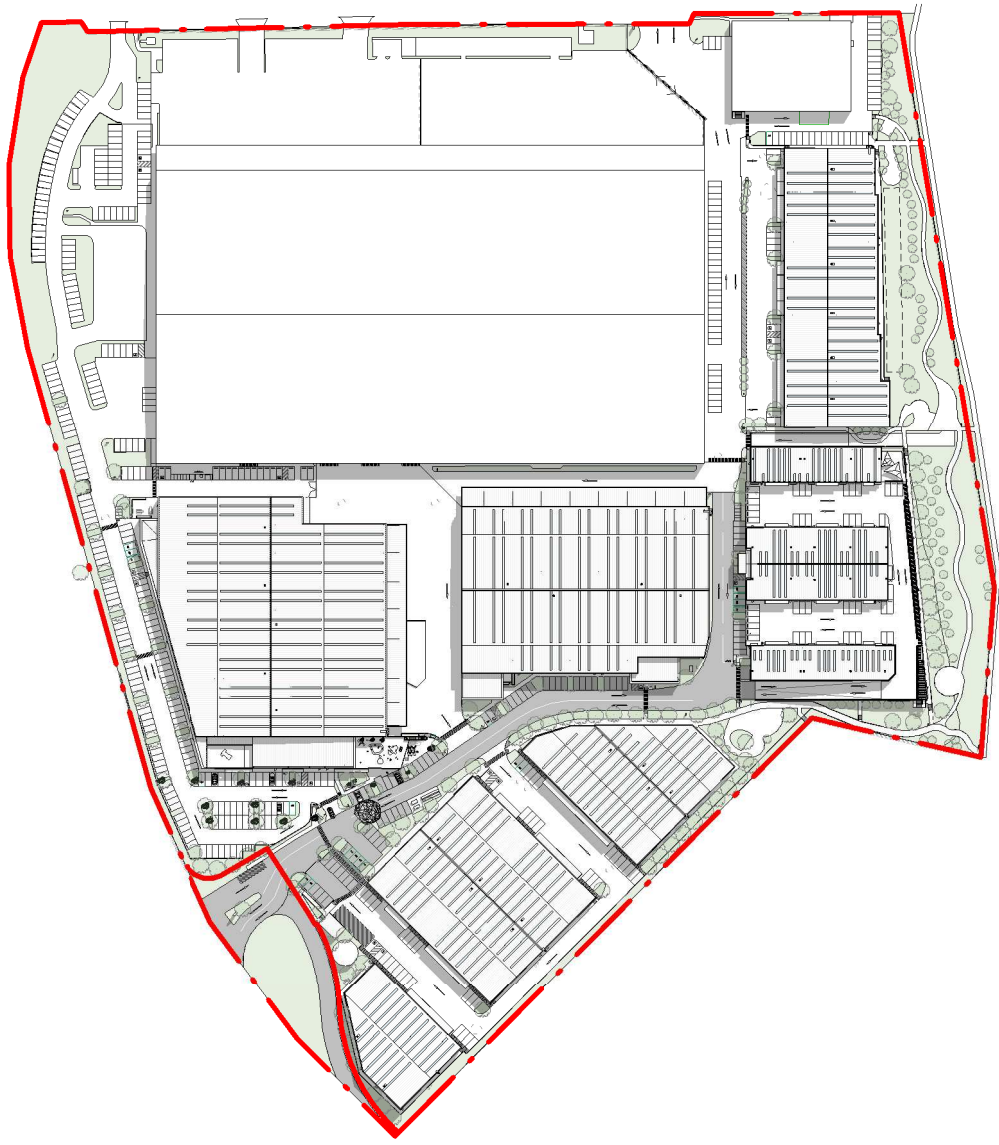
DATE: SEPTEMBER, 2023
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JOB NO:	21366
DRAWING NO:	007
REVISION:	D

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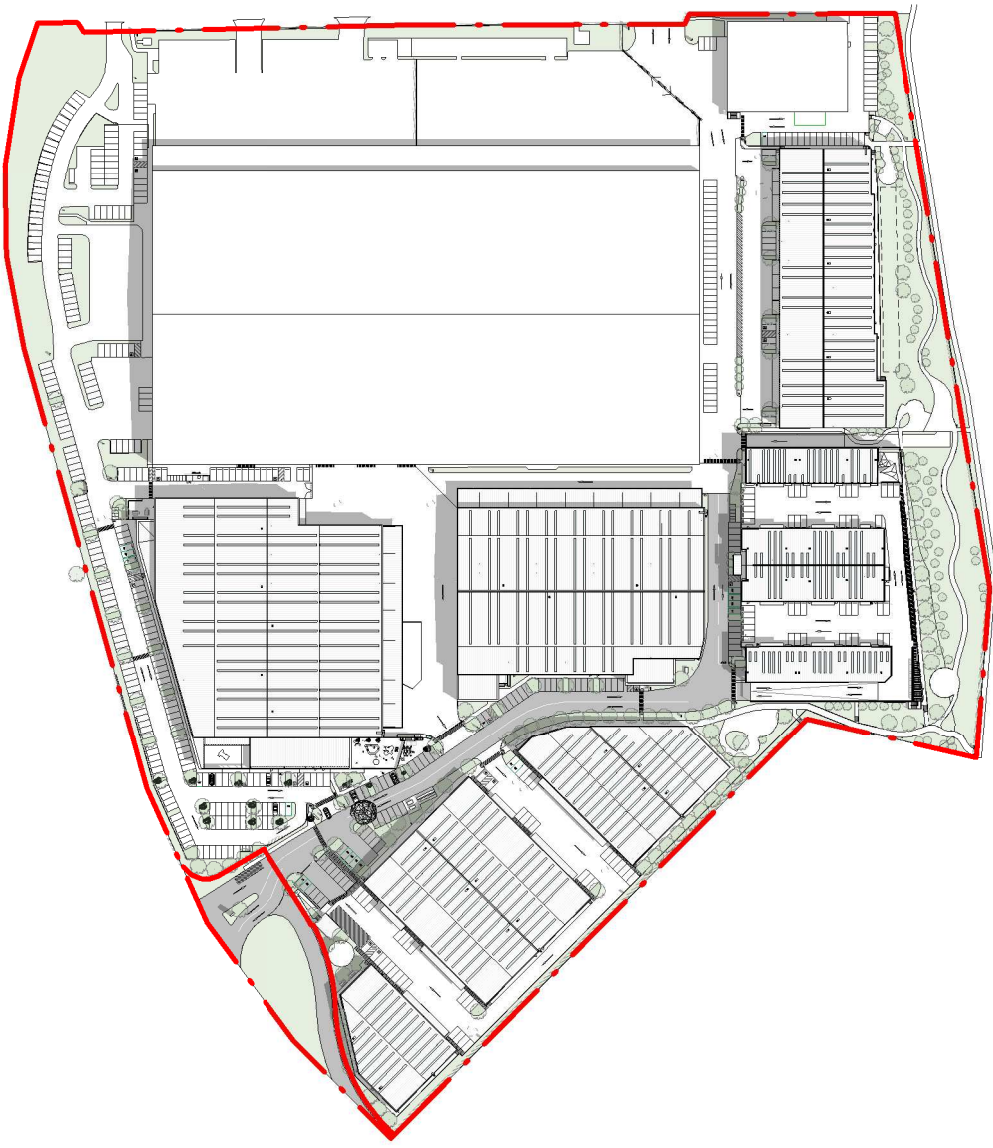
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SCALE: 1 : 3000



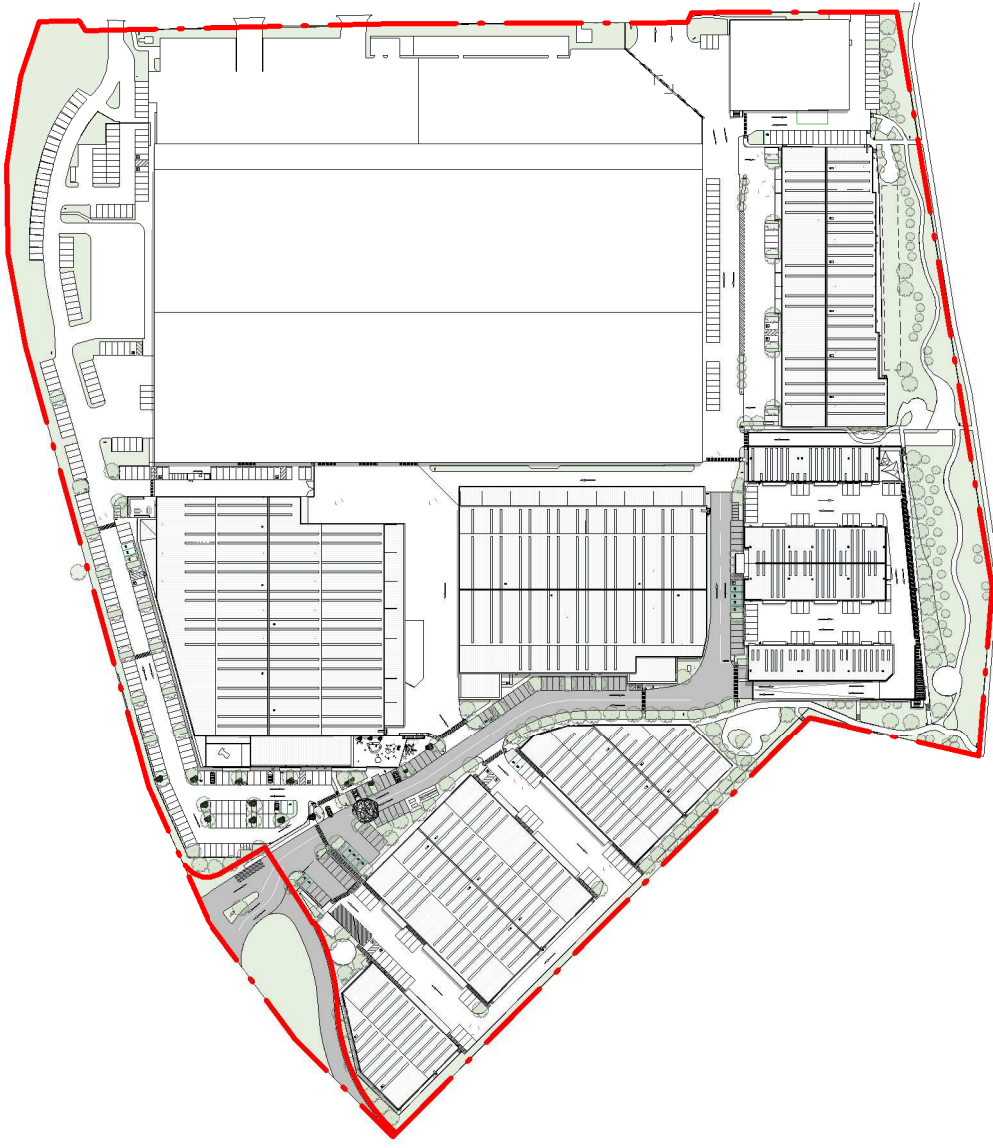
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SCALE: 1 : 3000



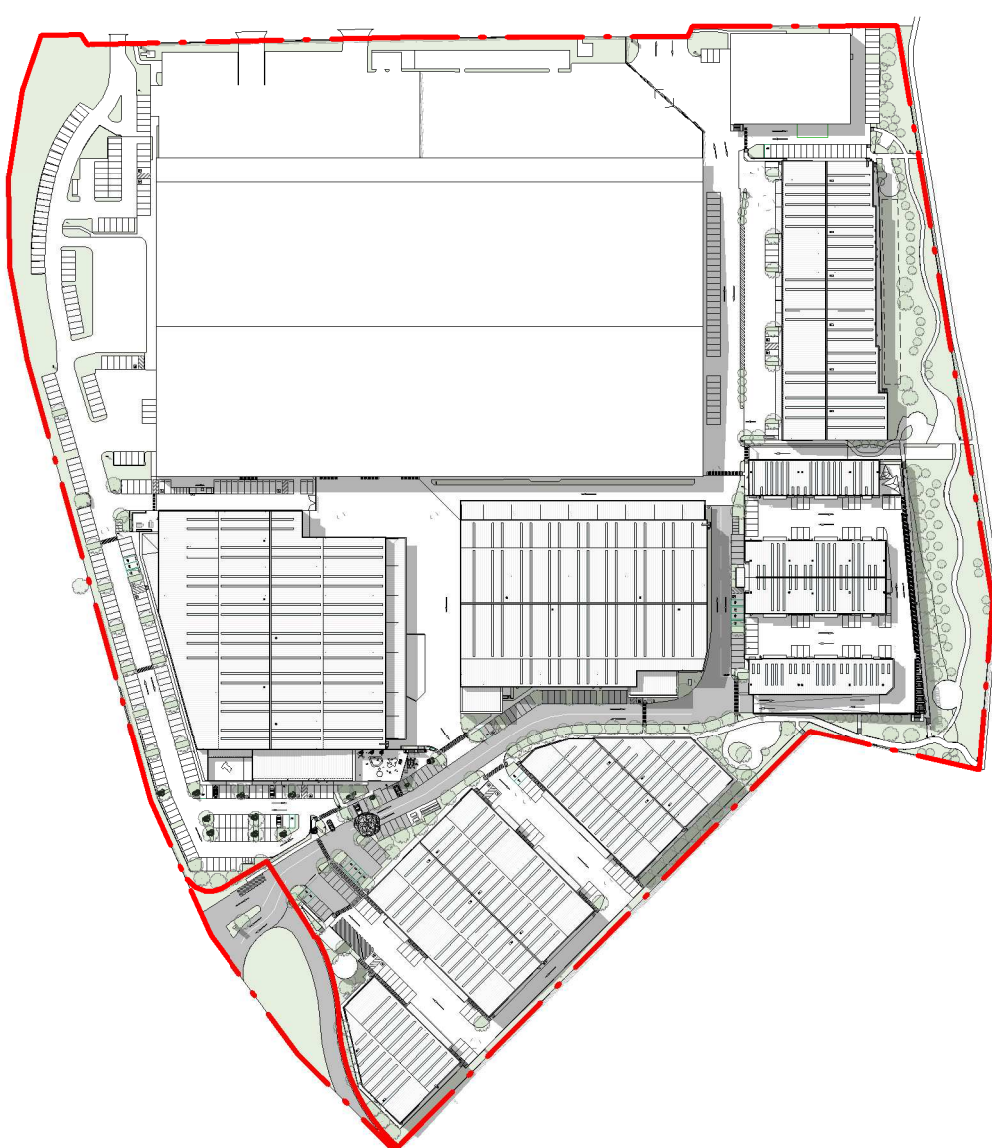
SPRING SOLSTICE - 3:00 PM
SCALE: 1 : 3000



SUMMER SOLSTICE - 9:00 AM
SCALE: 1 : 3000



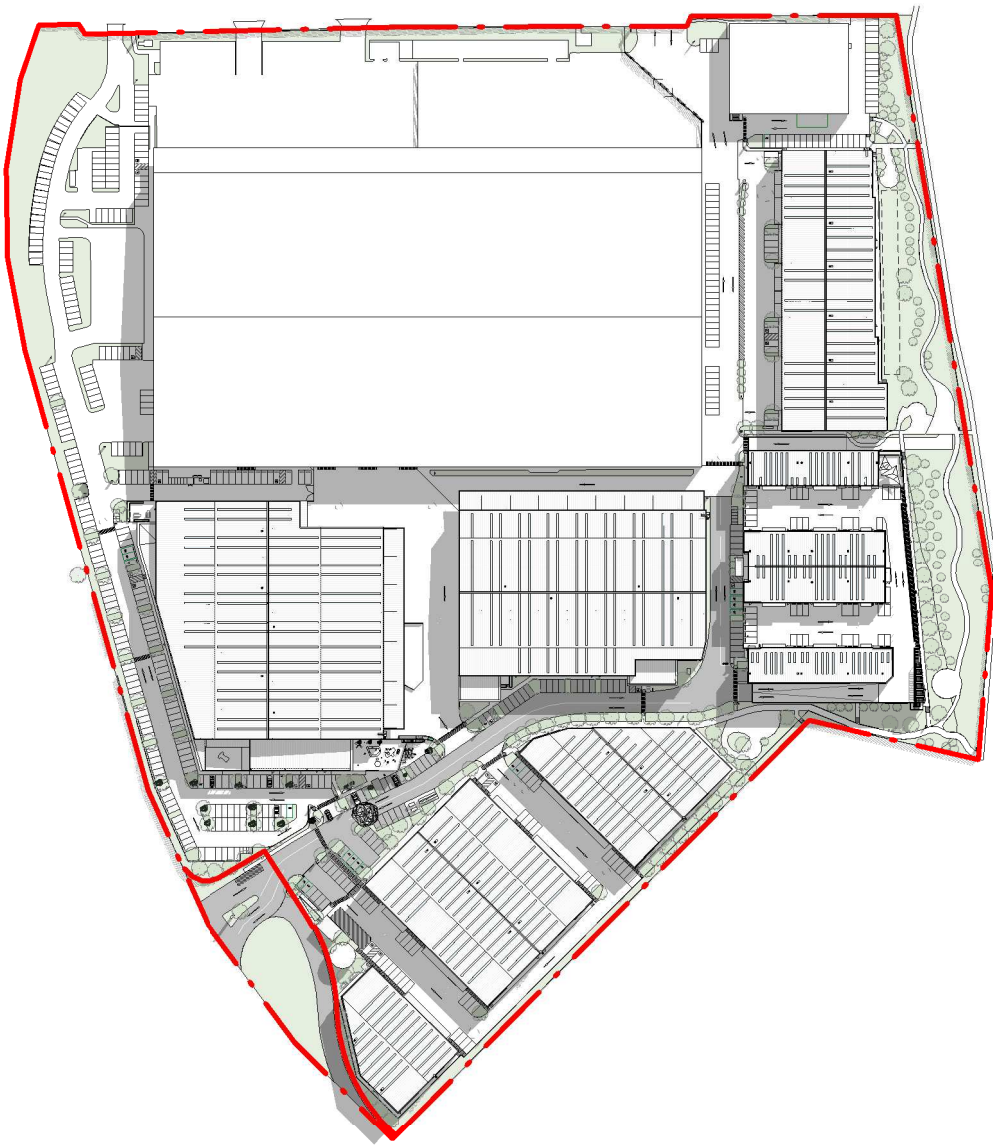
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SCALE: 1 : 3000



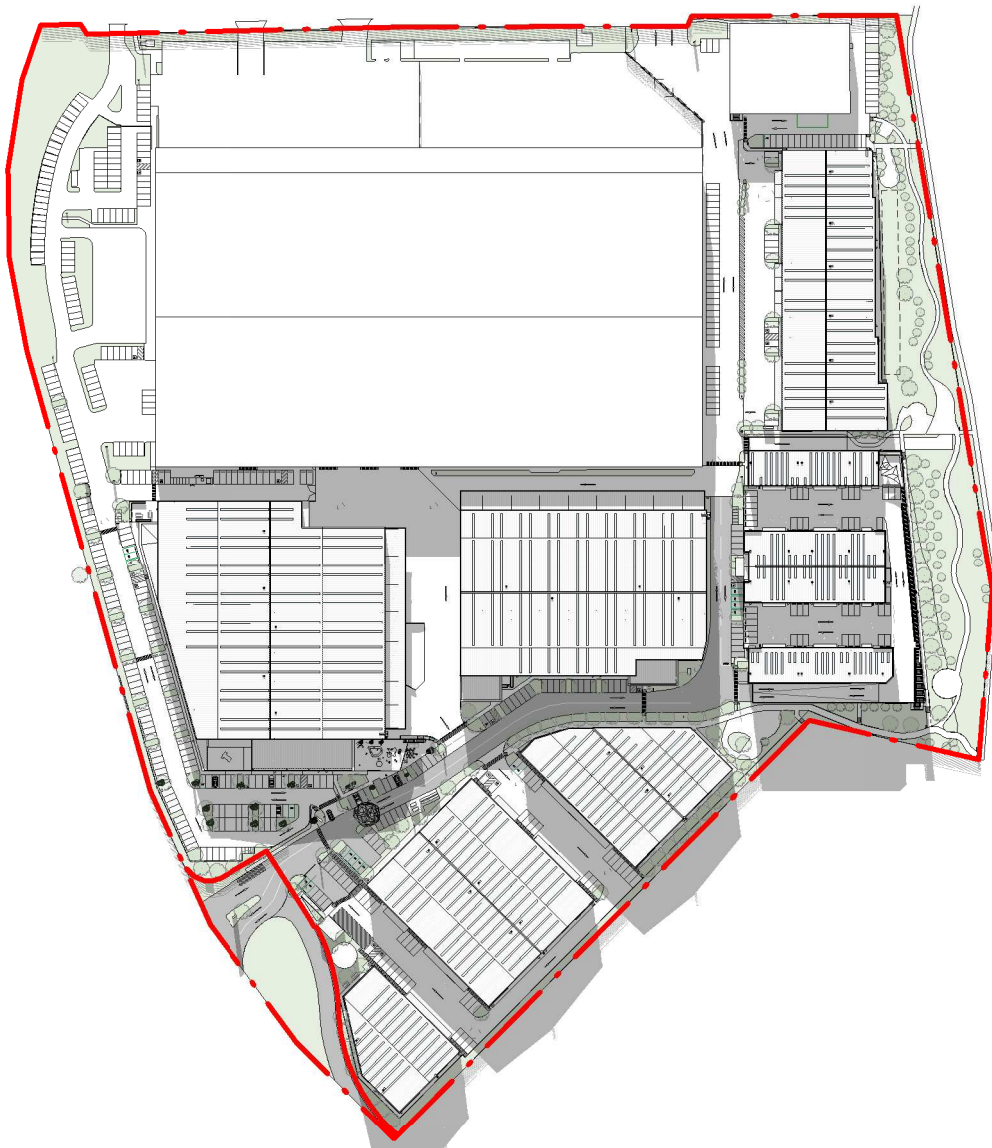
SUMMER SOLSTICE - 3:00 PM
SCALE: 1 : 3000



WINTER SOLSTICE - 9:00 AM
SCALE: 1 : 3000



WINTER SOLSTICE - 12:00 PM
SCALE: 1 : 3000



WINTER SOLSTICE - 3:00 PM
SCALE: 1 : 3000

No.	DATE	REVISION	BY	CHK
P1	09.08.2023	90% DA	AS	IMH
A	28.09.2023	FOR LODGEMENT	AS	JF
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PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
SHADOW DIAGRAMS

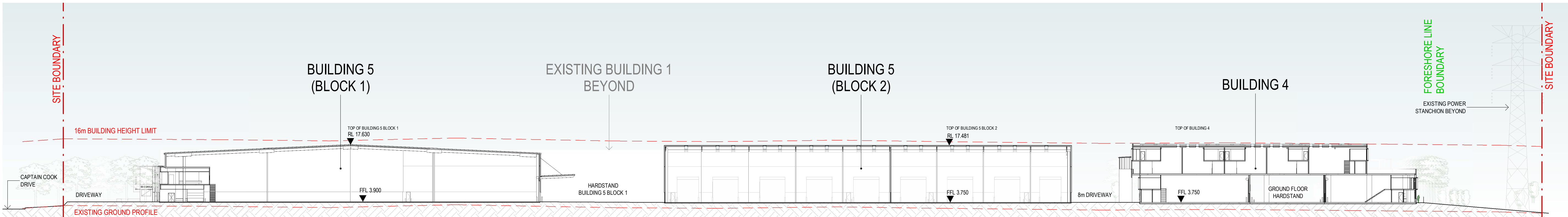
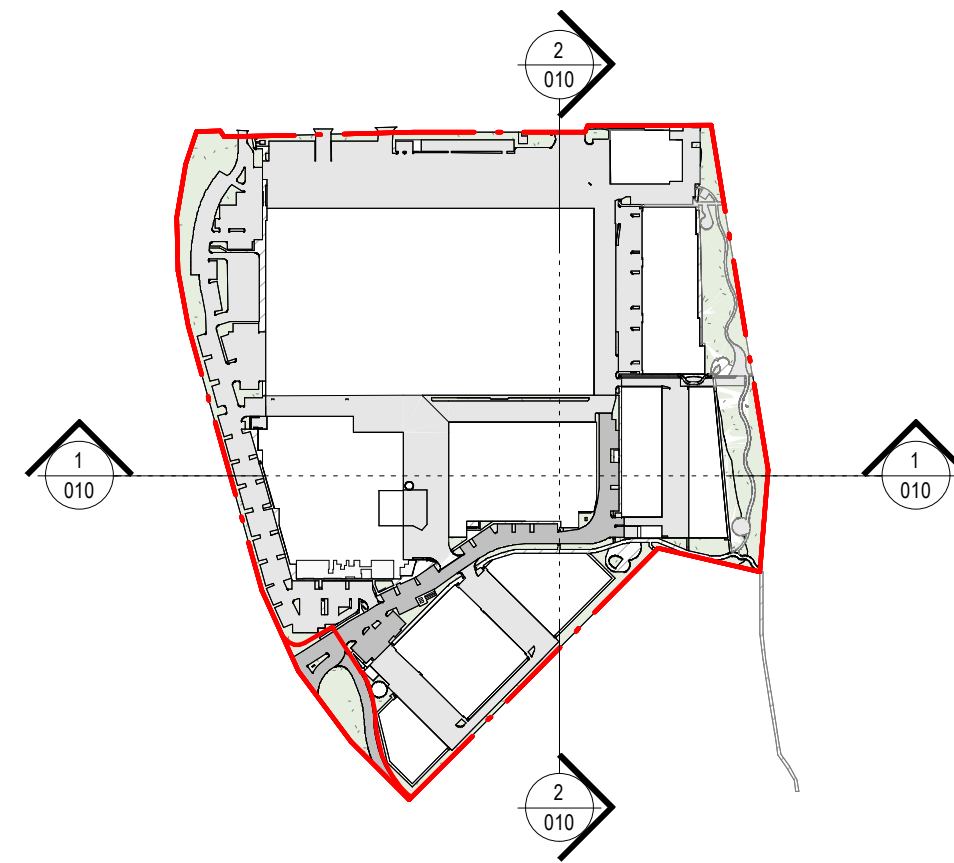


CLIENT:
Aliro

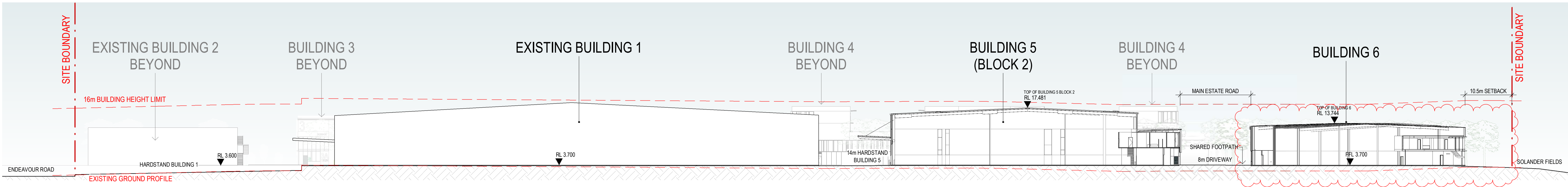
DATE: SEPTEMBER, 2023
DRAWN BY: AS
SCALE: 1:3000 @ A1
SCALE: 1:6000 @ A3

JOB NO:
21366
DRAWING NO:
008
REVISION:
B

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OVERALL SECTION 1
SCALE: 1 : 500



OVERALL SECTION 2
SCALE: 1 : 500

No.	DATE	REVISION	BY	CHK
P1	27.07.2023	75% DA - FOR COORDINATION	AS	JF
P2	21.08.2023	ISSUE FOR APPROVAL	AS	JF
A	28.09.2023	FOR LODGEMENT	AS	JF
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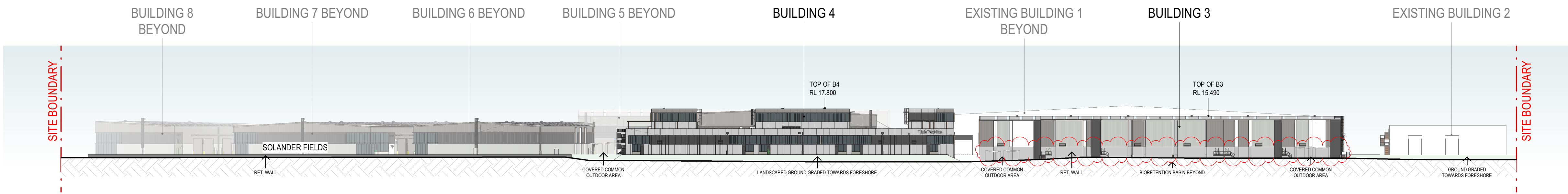
TITLE:
OVERALL MASTER SECTIONS

CLIENT:
Aliro

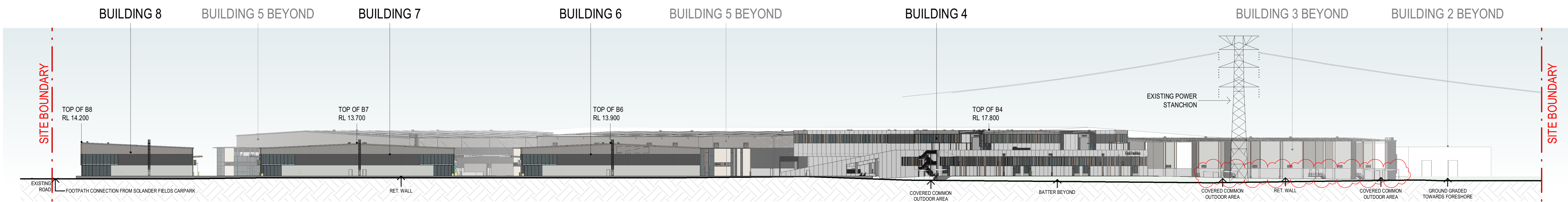
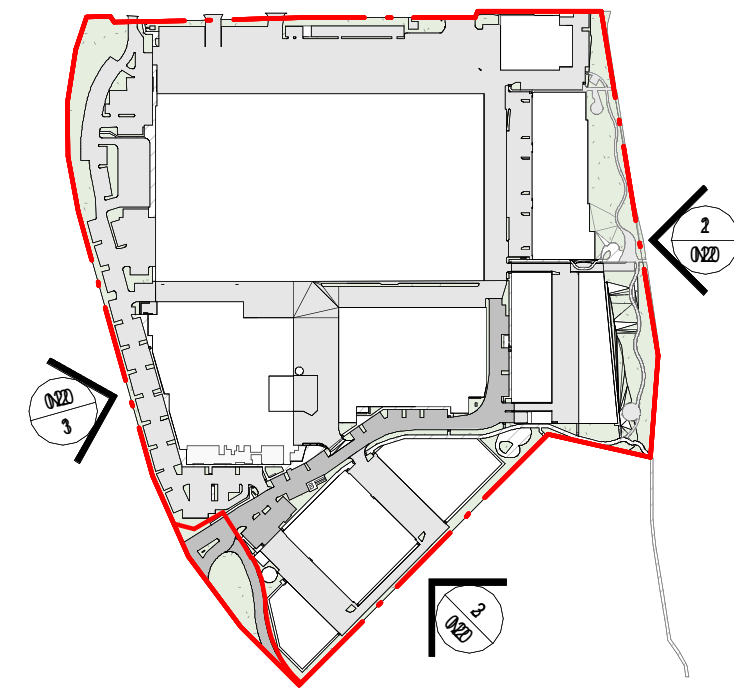
DATE: SEPTEMBER, 2023
DRAWN BY: AS
SCALE: 1:500 @ A1
SCALE: 1:1000 @ A3

JOB NO:	21366
DRAWING NO:	010
REVISION:	B

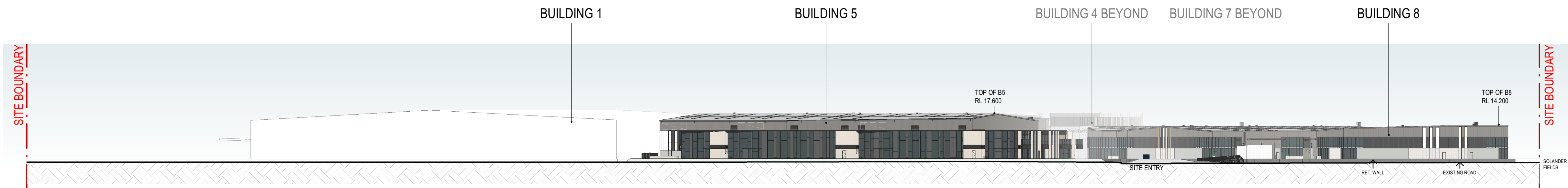
**watson
young**



OVERALL ELEVATION - FORESHORE
SCALE: 1 : 750



OVERALL ELEVATION - SOLANDER FIELDS
SCALE: 1 : 750



OVERALL ELEVATION - CAPTAIN COOK DRIVE
SCALE: 1 : 750

No.	DATE:	REVISION:	BY:	CHK:
P1	15.09.2023	ISSUE FOR APPROVAL	PR	JF
P2	20.09.2023	ISSUE FOR APPROVAL	PR	JF
A	28.09.2023	FOR LODGEMENT	AS	JF
B	18.10.2024	FOR LODGEMENT	AS	JF
C	12.02.2025	FOR LODGEMENT	AS	JF

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PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
OVERALL MASTER ELEVATIONS

CLIENT:
Aliro

DATE: SEPTEMBER, 2023
DRAWN BY: AS/PR
SCALE: 1:750 @ A1
SCALE: 1:1500 @ A3

JOB NO:	21366
DRAWING NO:	020
REVISION:	C

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1_ ALUMINIUM FRAMED
GLAZING
(REFLECTIVE GREY
TINT GLAZING)

2_ ALUMINIUM FRAMED
COLOBACK GLAZING
(TINTED DARK GREY)

3_ PRECAST
CONCRETE PANELS
(UNPAINTED)

4_ METAL CLADDING WITH
VERTICAL JOINTS
(WALLABY / MONUMENT)

5_ FIXED ALUMINIUM
VERTICAL BATTENS
(TIMBER COLOUR / BLACK)

6_ FEATURE ALUMINIUM
FACADE FRAME
(BLACK)

7_ COLORBOND ROLLER
SHUTTER DOORS (VARIES)

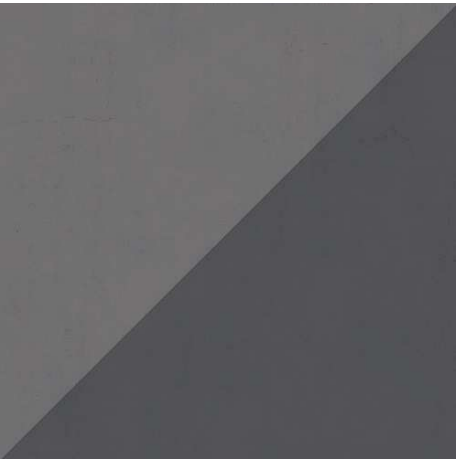
8_ BRICK STACK BOND
CLADDING (BROWN / LIGHT
BROWN)

9_ POLYCARBONATE PANEL
(TRANSLUCENT / WHITE)

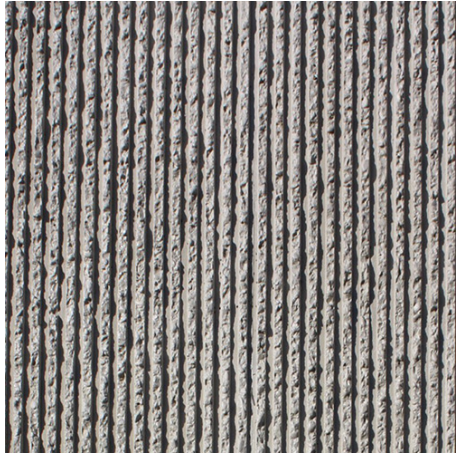
10_ VINYL SIGNAGE ON
METAL CLADDING
(BLACK FRAME; TENANT
DEDICATED ZONE VARIES)

11_ ROOF CLADDING
(ZINCALUME)

12_ DOWNPIPES / CAPPINGS /
FASCIAS (WALLABY /
MONUMENT)



13_ PAINTED PRECAST
(MONUMENT / WALLABY)



14_ TEXTURED
PRECAST (UNPAINTED)



15_ PAINTED TENANT
SIGNAGE ON PRECAST
(VARIES)

No.	DATE:	REVISION:	BY:	CHK:
P1	27.07.2023	PRELIMINARY ISSUE	PR	JF
A	22.09.2023	FOR LODGEMENT	AS	JF

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PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
EXTERNAL FINISHES

CLIENT:
Aliro

DATE: SEPTEMBER, 2023
DRAWN BY: PR, AS
SCALE: @ A1

JOB NO:	21366
DRAWING NO:	030
REVISION:	A

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1. OUTDOOR BETWEEN BUILDING 4 & BUILDING 6



2. INCREASED AREA BETWEEN BUILDING 3 & BUILDING 4. OUTDOOR AREA



3. INTERNAL ROAD & BUILDING 6 NORTH WEST FACADE



4. INCREASED AREA BETWEEN BUILDING 3 & BUILDING 4

No.	DATE	REVISION	BY	CHK
A	14.10.2024	FOR LODGEMENT	AS	JF
B	18.10.2024	FOR LODGEMENT	AS	JF

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PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
3D VIEWS
COUNCIL RFI RESPONSE

CLIENT:
Aliro

DATE: SEPTEMBER, 2023
DRAWN BY: PR, AS
SCALE: @ A1
SCALE:

JOB NO:	21366
DRAWING NO:	040
REVISION:	B

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WYA 24.07.2023
X=327515.985
Y=6232271.741
Z=0.00

LEGEND

- INDICATES EXISTING BUILDING FOOTPRINT
- INDICATES ORIGINAL BUILDING FOOTPRINT
- INDICATES NEW PROPOSED BUILDING FOOTPRINT



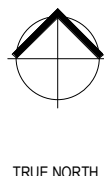
No.	DATE	REVISION	BY	CHK
P1	14.06.2024	FOR INFORMATION	AS	JF
P2	30.09.2024	FOR INFORMATION	AS	JF
A	11.10.2024	FOR LODGEMENT	AS	JF

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PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
EXISTING & PROPOSED BUILDING
OVERLAY



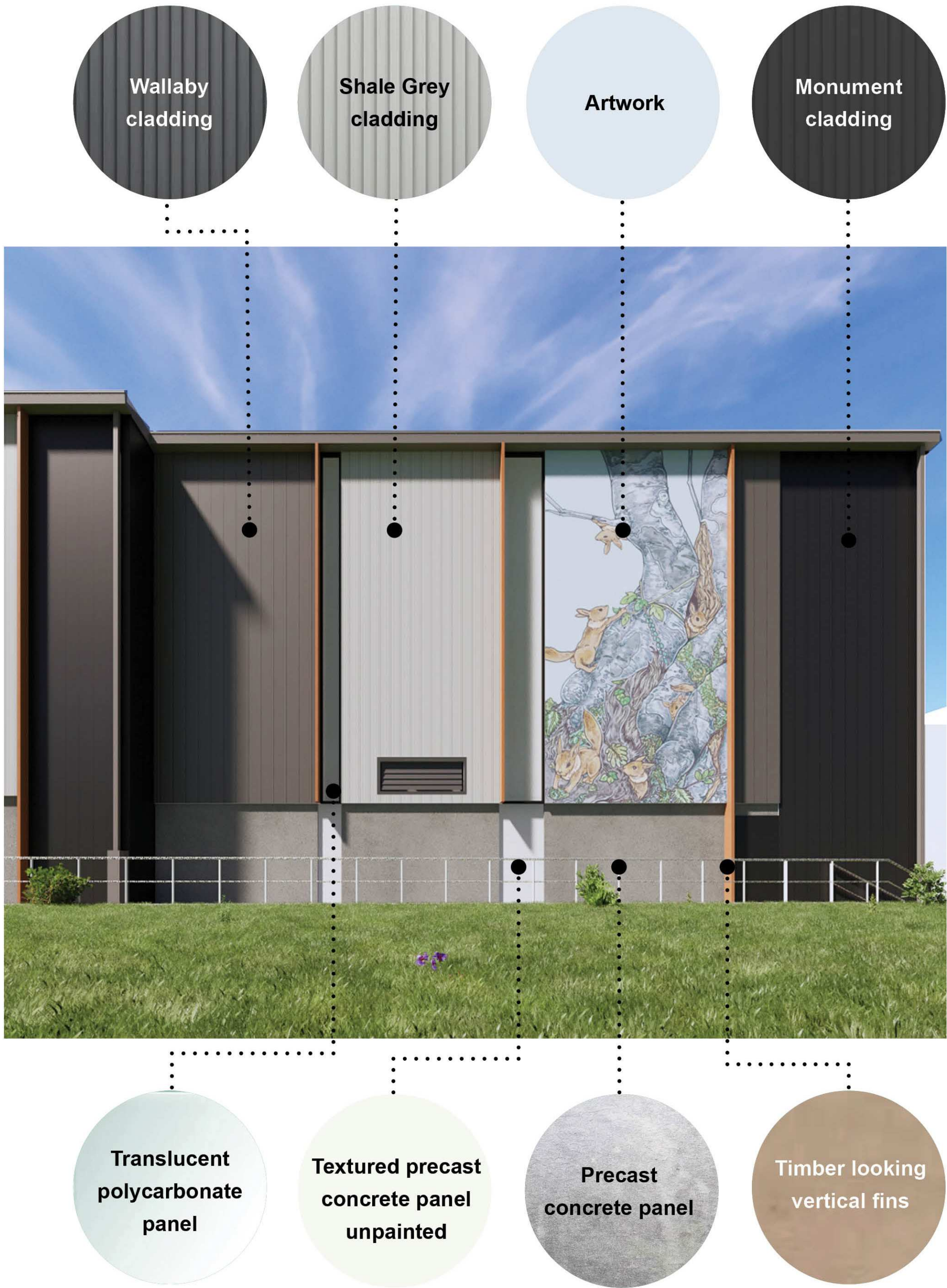
CLIENT:



DATE: SEPTEMBER, 2023
DRAWN BY: AS
SCALE: 1:1000 @ A1
SCALE: 1:2000 @ A3

JOB NO:	21366
DRAWING NO:	SK05
REVISION:	A





No.	DATE	REVISION	BY	CHK
P1	31.05.2024	FOR INFORMATION	AS	JF

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PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
BUILDING 3 DETAIL VIEW



CLIENT:
Aliro

DATE: SEPTEMBER, 2023
DRAWN BY: AS
SCALE:
SCALE:

JOB NO:	22366
DRAWING NO:	SK03
REVISION:	P1

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No.	DATE:	REVISION:	BY:	CHK:
P1	31.05.2024	FOR INFORMATION	AS	JF
A	14.10.2024	FOR LODGEMENT	AS	JF

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PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
BUILDING 4 DETAIL VIEW

CLIENT:
Aliro

DATE: SEPTEMBER, 2023
DRAWN BY: AS
SCALE:
SCALE:

JOB NO:	21366
DRAWING NO:	SK04
REVISION:	A

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NOTES

ALL NEW CROSSOVERS IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS

ALL DISABLED PARKING SPACES IN ACCORDANCE WITH AUSTRALIAN
STANDARD AS2890
(5.4m x 2.4m)

SITE STORMWATER DRAINAGE IN ACCORDANCE WITH LOCAL
AUTHORITY & COUNCIL REQUIREMENTS

FOOTPATHS MUST BE PROVIDED IN ACCORDANCE WITH THE PRINCIPLES OUTLINED IN THE AUSTRALIAN MODEL CODE FOR RESIDENTIAL DEVELOPMENT (AMCORD) FOR PEDESTRIAN FACILITIES (MIN 1.2M PEDESTRIAN FOOTPATHS; 2.5M SHARED PATHS)

ALL RELATIVE LEVELS ARE SHOWN TO A.H.D. (AUSTRALIAN HEIGHT DATUM)
LEVELS SHOWN ARE INDICATIVE ONLY AND SUBJECT TO FURTHER
CIVIL DETAIL DESIGN. THESE MIGHT VARY +/- 500 mm

GROSS LETTABLE AREA (GLA) IS THE TOTAL FLOOR AREA OF A BUILDING, MEASURED FROM THE OUTSIDE OF EXTERNAL WALLS OR THE CENTRE OF PARTY WALLS AND INCLUDES ALL ROOFED AREAS


GROSS FLOOR AREA (GFA) IS THE TOTAL FLOOR AREA OF A BUILDING, MEASURED FROM THE INSIDE OF EXTERNAL WALLS OR THE CENTRE OF PARTY WALLS AND INCLUDES ALL ROOFED AREAS

LEGEND

INDICATES EXTENT OF HEAVY DUTY
HARDSTAND TO CIVIL ENGINEERS DETAILS

INDICATES EXTENT OF LIGHT DUTY PAVEMENT
TO CIVIL ENGINEERS DETAILS

 2.5 m SHARED PEDESTRIAN /CYCLE PATH AS PER SSC BICYCLE NETWORK PLAN. CONCRETE WITH PAVER BANDING

 AREA OF GRASS / LANDSCAPING, REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR LANDSCAPE LAYOUT AND DETAILS

— · — SITE BOUNDARY

FORESHORE BOUNDARY LINE

TRANSMISSION EASEMENT

PARKING BAY PROVIDED FOR BUILDING 2

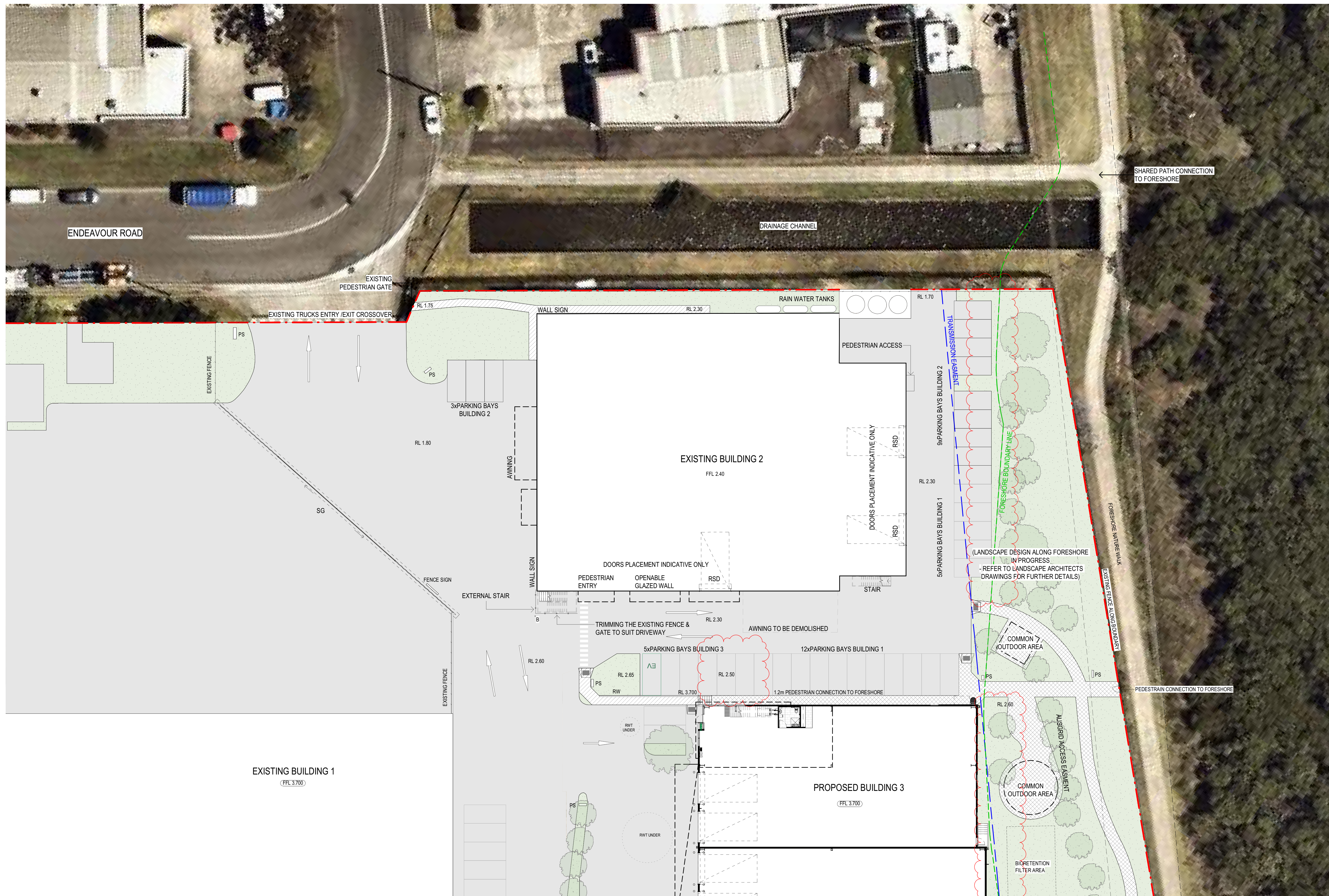
	PARKING BAY ALLOCATED TO OTHER ESTATE TENANCIES
--	--

SG SLIDING GATE

PS	PYLON SIGN
----	------------

RW RETAINING WALL

EV ELECTRICAL VEHICLE BAY



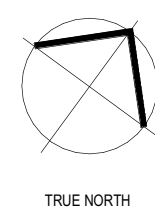
No.	DATE:	REVISION:	BY:	CHK:
P3	12.09.2023	ISSUE FOR APPROVAL	AS/PR	JF
A	02.10.2023	ISSUE FOR LODGEMENT	AS	JF
P4	01.10.2024	ISSUE FOR APPROVAL	AS	JF
B	18.10.2024	ISSUE FOR LODGEMENT	AS	JF
C	12.02.2025	ISSUE FOR LODGEMENT	AS	JF

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PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
BUILDING 2
SITE PLAN



CLIENT:



DATE: NOVEMBER, 2023
DRAWN BY: PR
SCALE: 1 : 250 @ A1
SCALE: 1 : 500 @ A3

JOB NO: 21366

DRAWING NO:
200

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NOTES

- ALL NEW CROSSOVERS IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS
- ALL DISABLED PARKING SPACES IN ACCORDANCE WITH AUSTRALIAN STANDARD AS2890 (5.4m x 2.4m)
- SITE STORMWATER DRAINAGE IN ACCORDANCE WITH LOCAL AUTHORITY & COUNCIL REQUIREMENTS
- FOOTPATHS MUST BE PROVIDED IN ACCORDANCE WITH THE PRINCIPLES OUTLINED IN THE AUSTRALIAN MODEL CODE FOR RESIDENTIAL DEVELOPMENT (AMCORD) FOR PEDESTRIAN FACILITIES (MIN 1.2M PEDESTRIAN FOOTPATHS; 2.5M SHARED PATHS)
- ALL RELATIVE LEVELS ARE SHOWN TO A.H.D. (Australian Height Datum) LEVELS SHOWN ARE INDICATIVE ONLY AND SUBJECT TO FURTHER CIVIL DETAIL DESIGN. THESE MIGHT VARY +/- 500 mm
- GROSS LETTABLE AREA (GLA) IS THE TOTAL FLOOR AREA OF A BUILDING, MEASURED FROM THE OUTSIDE OF EXTERNAL WALLS OR THE CENTRE OF PARTY WALLS AND INCLUDES ALL ROOFED AREAS
- GROSS FLOOR AREA (GFA) IS THE TOTAL FLOOR AREA OF A BUILDING, MEASURED FROM THE INSIDE OF EXTERNAL WALLS OR THE CENTRE OF PARTY WALLS AND INCLUDES ALL ROOFED AREAS

LEGEND

- INDICATES EXTENT OF HEAVY DUTY HARDSTAND TO CIVIL ENGINEERS DETAILS
- INDICATES EXTENT OF LIGHT DUTY PAVEMENT TO CIVIL ENGINEERS DETAILS
- CONCRETE PAVING
- PERMEABLE PAVING
- AREA OF GRASS / LANDSCAPING. REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR LANDSCAPE LAYOUT AND DETAILS
- SITE BOUNDARY
- FORESHORE BOUNDARY LINE
- TRANSMISSION EASEMENT
- PARKING BAY PROVIDED FOR BUILDING 3
- PARKING BAY ALLOCATED TO OTHER ESTATE TENANCIES
- EXISTING TREE PROTECTION ZONE
- EXISTING STRUCTURAL ROOT ZONE
- BIORETENTION BASIN
- FN-01 1800mm HIGH BLACK VINYL COATED CYCLOPE WIRE FENCE, 3 BARB WIRES TO 2100mm HIGH
- FN-02 1800mm HIGH BLACK PAINTED METAL PICKET (DIPLOMAT / PALISADE STYLE) FENCING
- RWT INGROUND RAINWATER TANK - REFER TO CIVIL DRAWINGS FOR DETAILS
- SG / SW SLIDING GATE / SWING GATE
- RSD ROLLER SHUTTER DOOR
- FHR FIRE HOSE REEL
- RW RETAINING WALL

DEVELOPMENT ANALYSIS

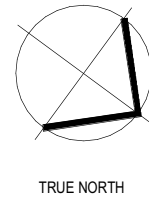
	UNIT	GFA
BUILDING 3		
WAREHOUSE	3A	649 m ²
OFFICE	3A	126 m ²
WAREHOUSE	3B	676 m ²
OFFICE	3B	127 m ²
WAREHOUSE	3C	677 m ²
OFFICE	3C	127 m ²
WAREHOUSE	3D	677 m ²
OFFICE	3D	127 m ²
WAREHOUSE	3E	698 m ²
OFFICE	3E	127 m ²
WAREHOUSE	3F	763 m ²
OFFICE	3F	126 m ²
TOTAL AREA		4,900 m ²

PARKING BAYS PROVIDED
Building 3

24

PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
BUILDING 3
SITE PLAN



CLIENT:

Aliro

DATE: NOVEMBER, 2023
DRAWN BY: PR
SCALE: 1 : 250 @ A1
SCALE: 1 : 500 @ A3

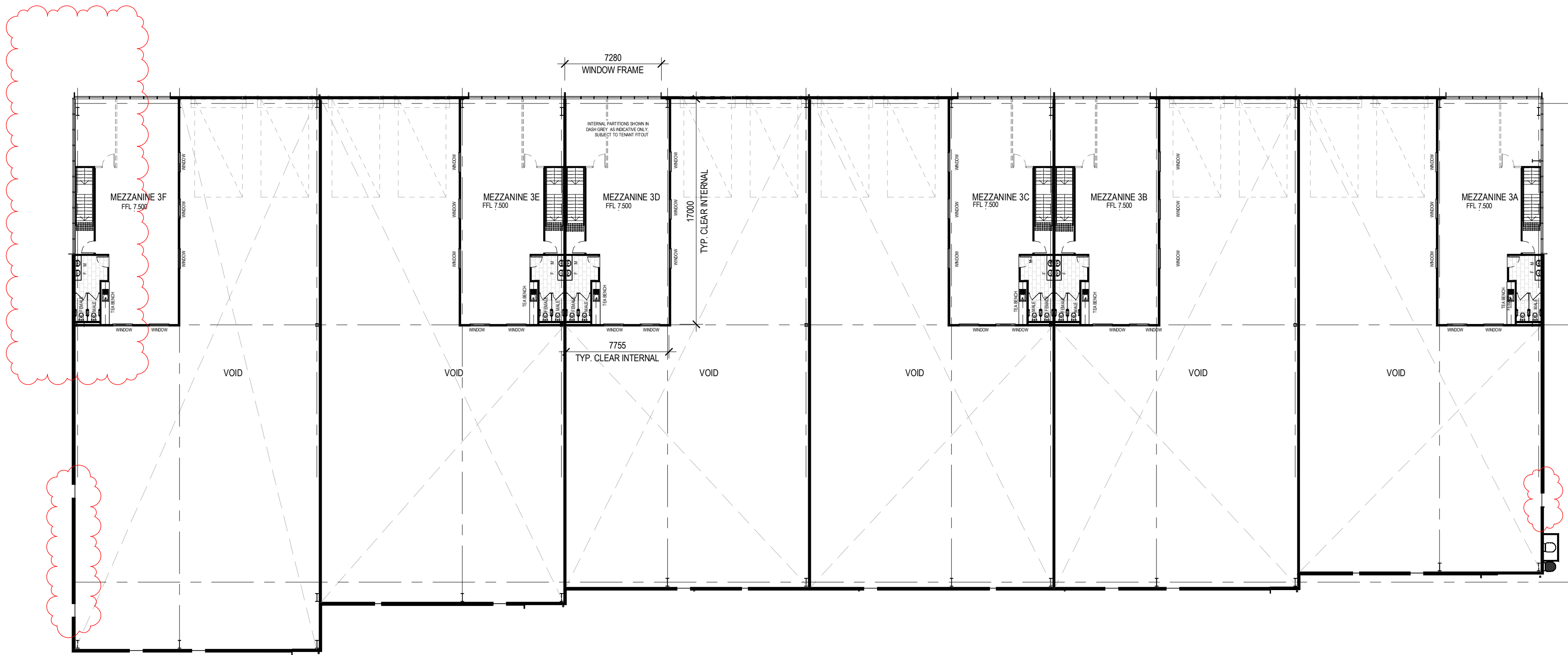
JOB NO:
21366
DRAWING NO:
300
REVISION:
C

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No.	DATE:	REVISION:	BY:	CHK:
P11	12.06.2023	ISSUE FOR APPROVAL	AS/PR	JF
A	02.10.2023	ISSUE FOR LODGEMENT	AS	JF
P12	01.10.2024	ISSUE FOR APPROVAL	AS	JF
B	18.10.2024	ISSUE FOR LODGEMENT	AS	JF
C	12.02.2025	ISSUE FOR LODGEMENT	AS	JF

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MEASURED FROM THE INSIDE OF EXTERNAL WALLS OR THE CENTRE
OF PARTY WALLS AND INCLUDES ALL ROOFED AREAS

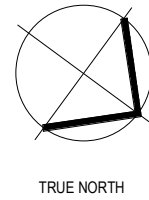
No.	DATE	REVISION	BY:	CHK:
P4	07.09.2023	ISSUE FOR APPROVAL	AS/PR	JF
P5	20.09.2023	ISSUE FOR APPROVAL	PR	JF
A	02.10.2023	ISSUE FOR LODGEMENT	AS	JF
P6	01.10.2024	ISSUE FOR APPROVAL	AS	JF
B	18.10.2024	ISSUE FOR LODGEMENT	AS	JF

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PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
BUILDING 3
MEZZANINE FLOOR PLAN



CLIENT:

Aliro

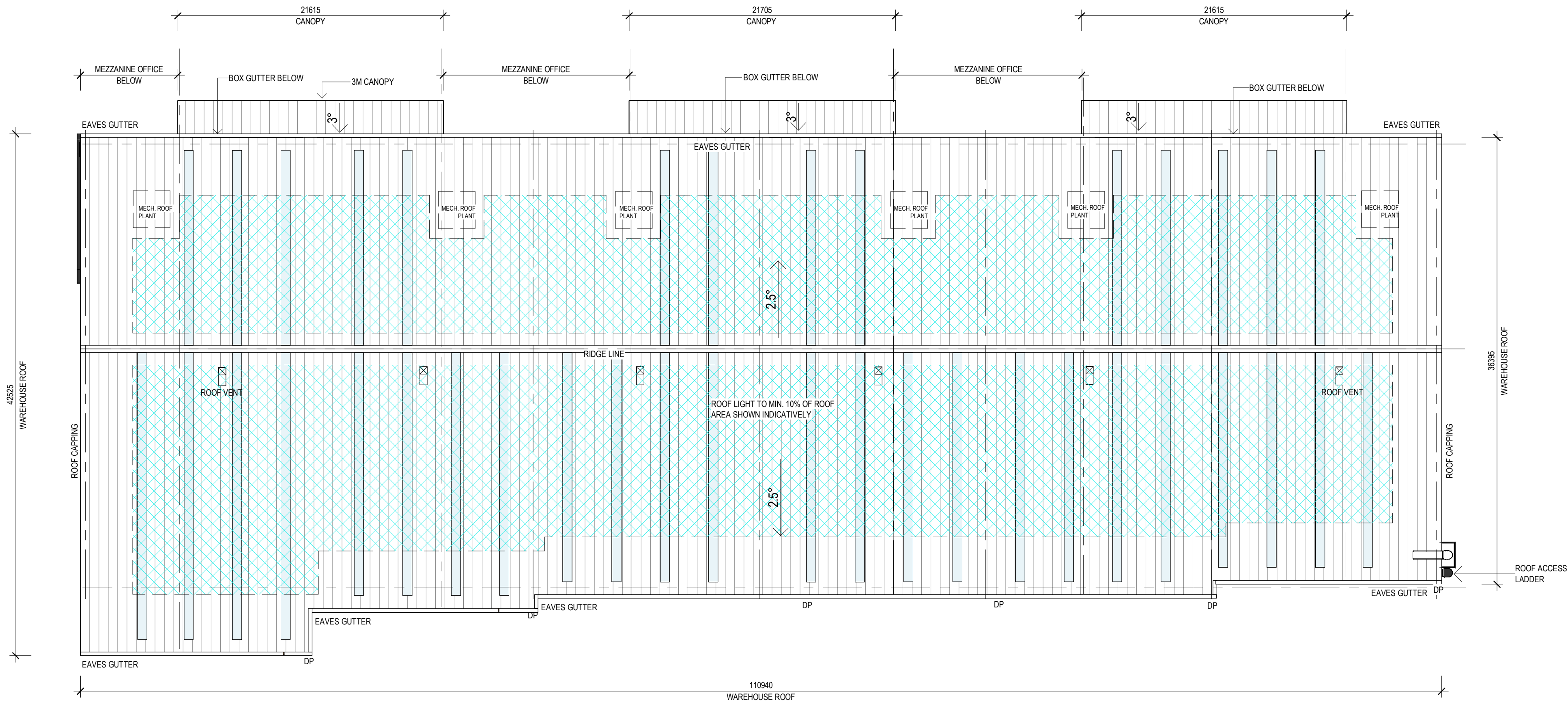
DATE: NOVEMBER, 2023
DRAWN BY: PR
SCALE: 1 : 250 @ A1
SCALE: 1 : 500 @ A3

JOB NO:	21366
DRAWING NO:	301
REVISION:	B

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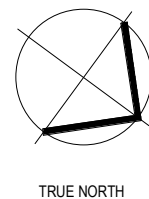
LEGEND: ROOF PLAN

ZONE FOR SOLAR PANELS TO CONTRACTORS DETAILS
COORDINATE LAYOUT WITH ROOF FANS, ROOF LIGHTS, LIGHTNING
PROTECTION AND OTHER SERVICES



PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
CARINGBAH - BUILDING 3
ROOF PLAN



CLIENT:

Aliro

DATE: NOVEMBER, 2023
DRAWN BY: DM
SCALE: 1 : 250 @ A1
SCALE: 1 : 500 @ A3

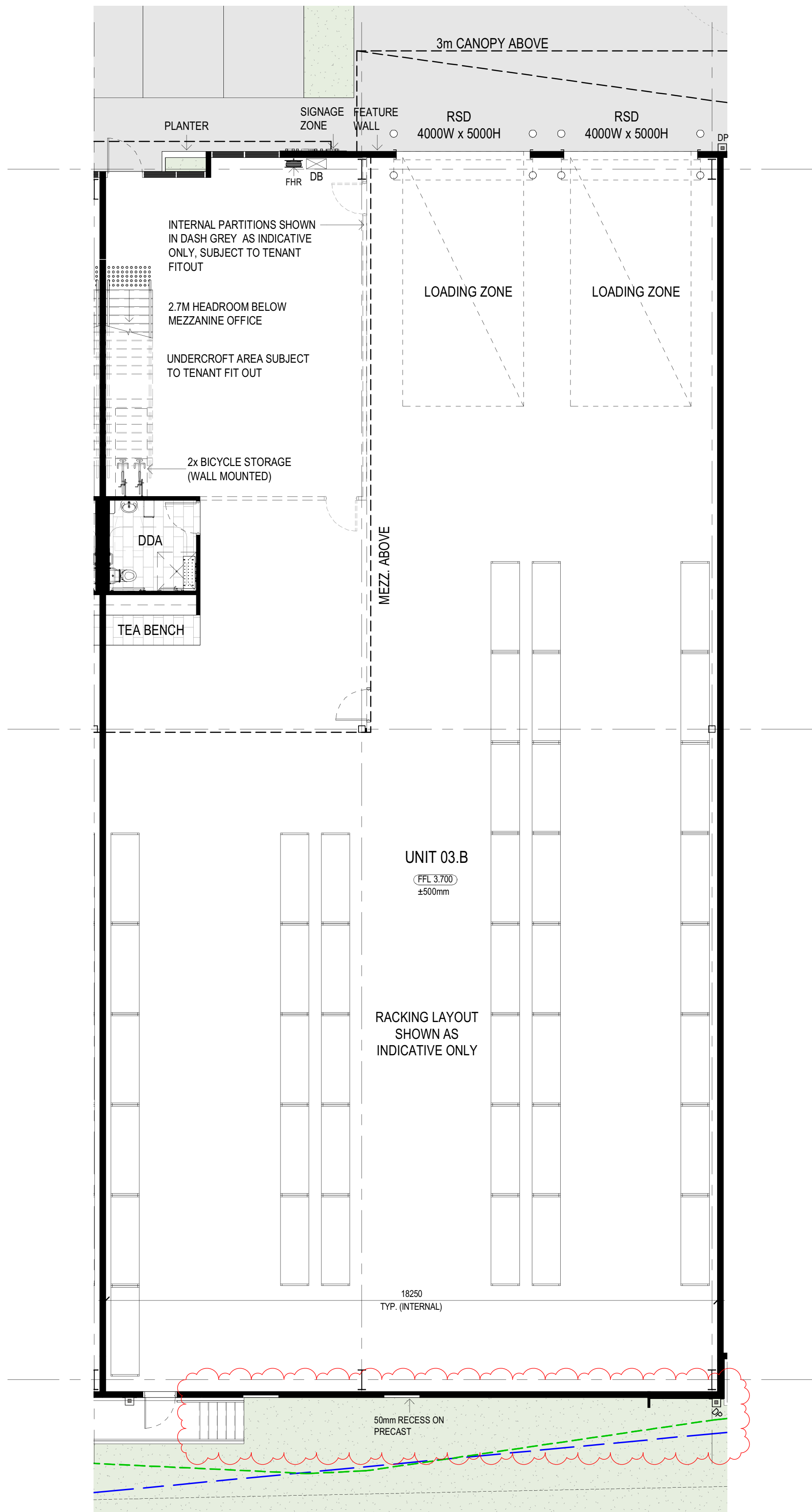
JOB NO:	21366
DRAWING NO:	302
REVISION:	A

No.	DATE:	REVISION:	BY:	CHK:
P4	03.08.2023	90% DA ISSUE	PR	JF
P5	22.08.2023	90% DA ISSUE	PR	JF
P6	06.09.2023	ISSUE FOR APPROVAL	PR	JF
P7	07.09.2023	ISSUE FOR APPROVAL	AS/PR	JF
A	02.10.2023	ISSUE FOR LODGEMENT	AS	JF

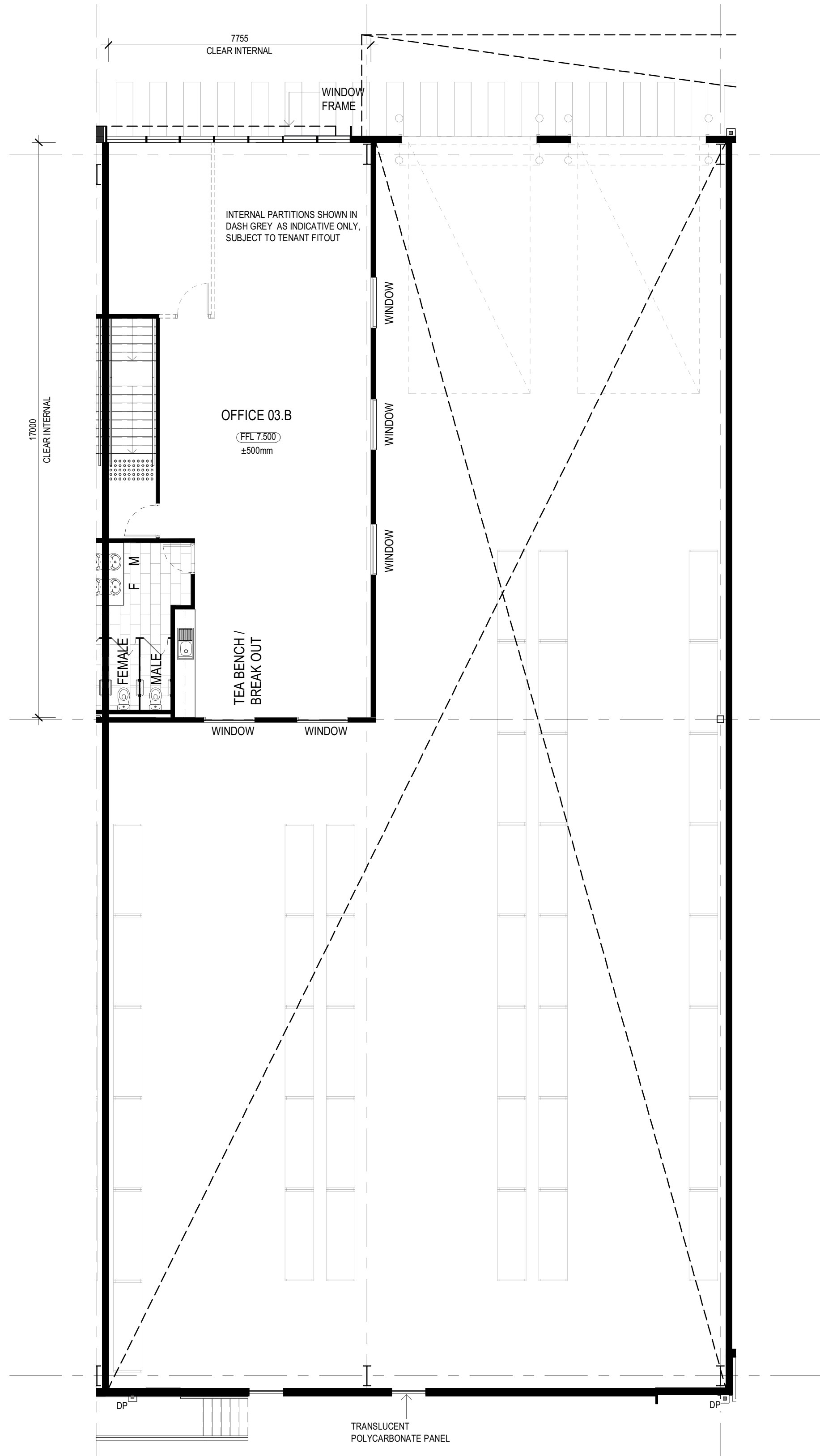
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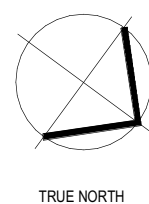
GROUND FLOOR
SCALE: 1 : 100



FIRST FLOOR MEZZANINE
SCALE: 1 : 100

PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
BUILDING 3
TYPICAL UNIT LAYOUT



CLIENT:

Aliro

DATE: NOVEMBER, 2023
DRAWN BY: PR
SCALE: 1 : 100 @ A1
SCALE: 1 : 500 @ A3

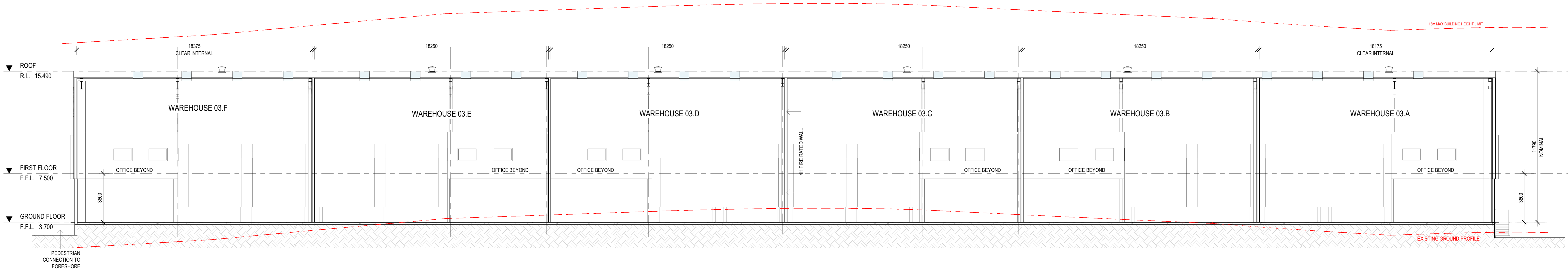
JOB NO:	21366
DRAWING NO:	303
REVISION:	B

No.	DATE:	REVISION:	BY:	CHK:
P4	06.09.2023	ISSUE FOR APPROVAL	PR	JF
P5	07.09.2023	ISSUE FOR APPROVAL	AS/PR	JF
P6	20.09.2023	ISSUE FOR APPROVAL	PR	JF
A	02.10.2023	ISSUE FOR LODGEMENT	AS	JF
B	12.02.2025	ISSUE FOR LODGEMENT	AS	JF

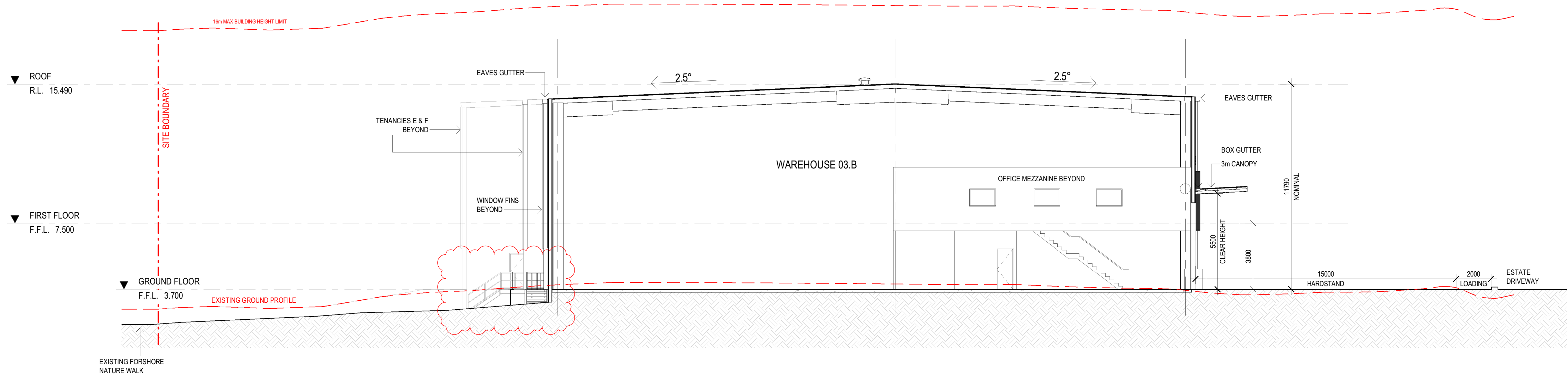
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LONG SECTION
SCALE: 1 : 150



CROSS SECTION
SCALE: 1 : 150

NOTES

ALL NEW CROSSOVERS IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS

ALL DISABLED PARKING SPACES IN ACCORDANCE WITH AUSTRALIAN STANDARD AS2890 (5.4m x 2.4m)

SITE STORMWATER DRAINAGE IN ACCORDANCE WITH LOCAL AUTHORITY & COUNCIL REQUIREMENTS

FOOTPATHS MUST BE PROVIDED IN ACCORDANCE WITH THE PRINCIPLES OUTLINED IN THE AUSTRALIAN MODEL CODE FOR RESIDENTIAL DEVELOPMENT (AMCORD) FOR PEDESTRIAN FACILITIES (MIN 1.2M PEDESTRIAN FOOTPATHS; 2.3M SHARED PATHS)

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No.	DATE	REVISION	BY:	CHK:
P4	07.09.2023	ISSUE FOR APPROVAL	AS/PR	JF
A	02.10.2023	ISSUE FOR LODGEMENT	AS	JF
P5	01.10.2024	ISSUE FOR APPROVAL	AS	JF
B	18.10.2024	ISSUE FOR LODGEMENT	AS	JF
C	12.02.2025	ISSUE FOR LODGEMENT	AS	JF

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PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
CARINGBAH - BUILDING 3
SECTIONS

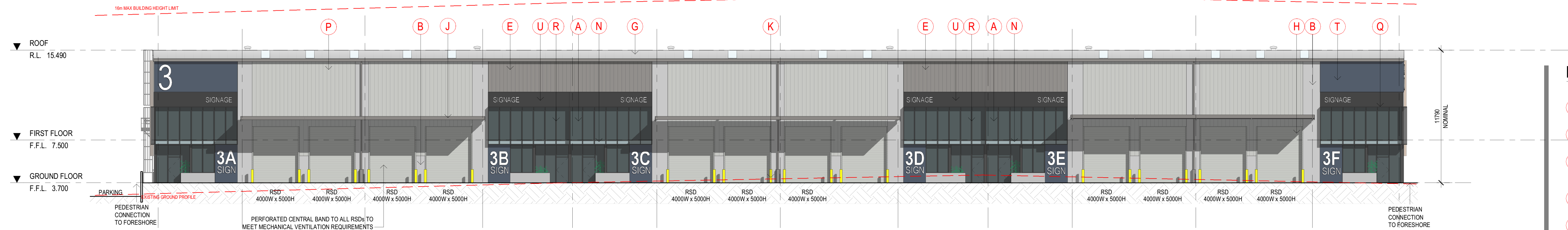
CLIENT:

Aliro

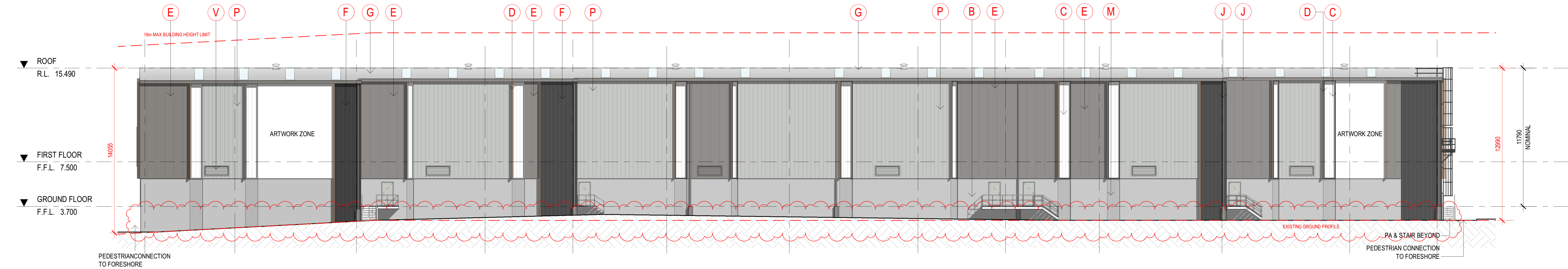
DATE: NOVEMBER, 2023
DRAWN BY: DM
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SCALE: 1 : 300 @ A3

JOB NO:	21366
DRAWING NO:	310
REVISION:	C

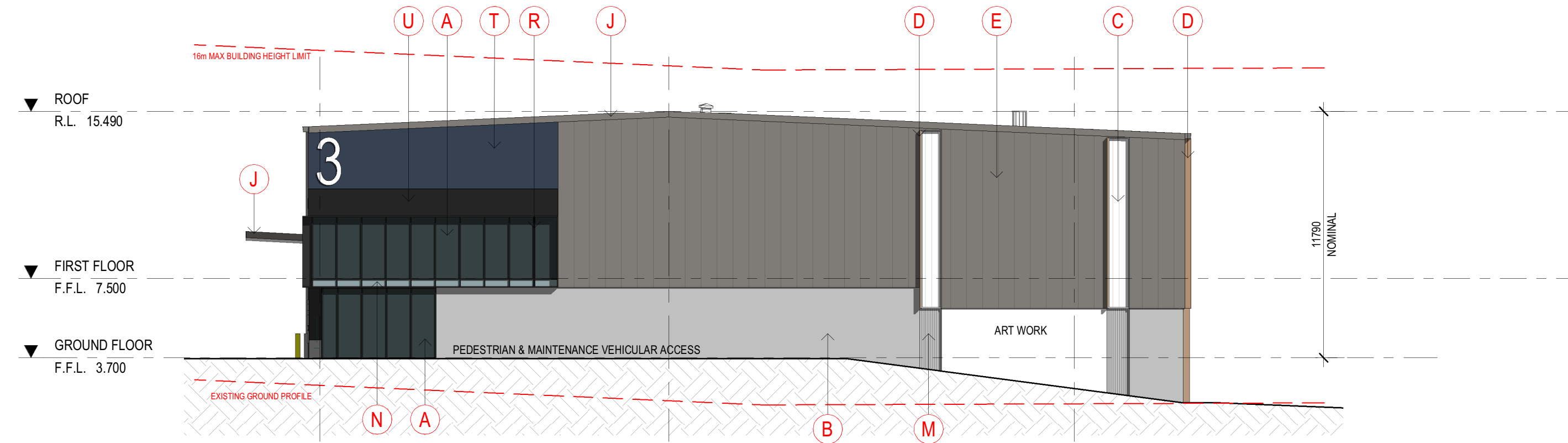
watson
young



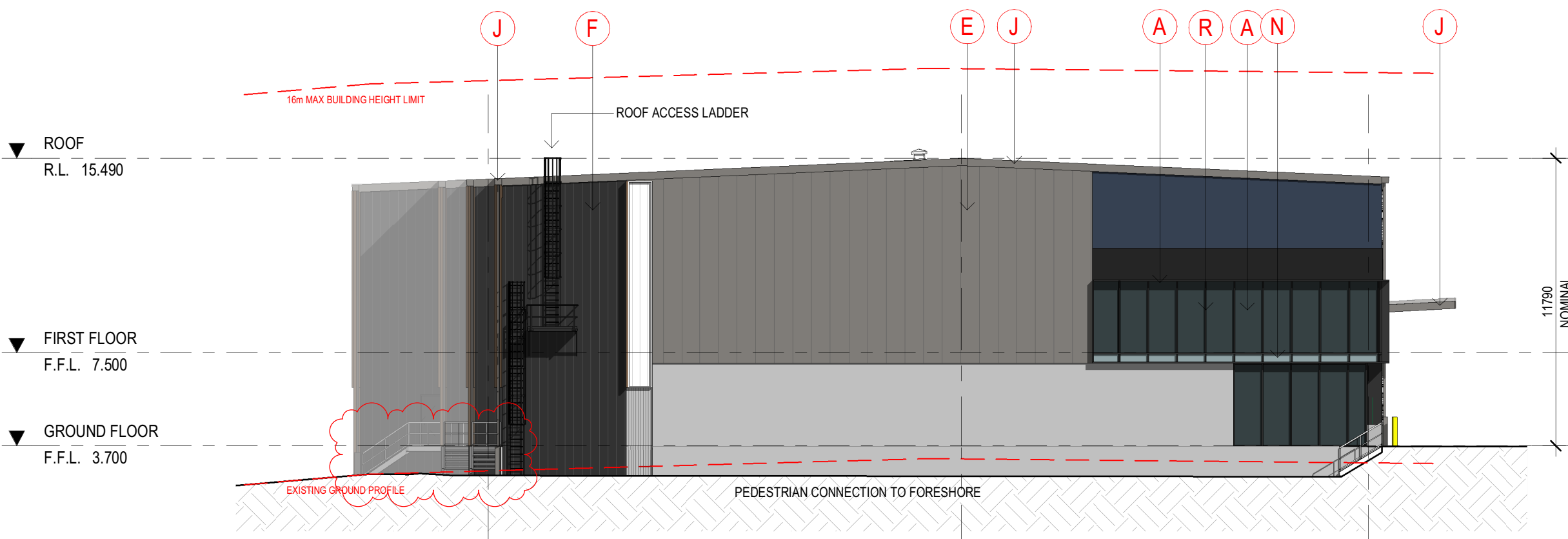
SOUTH-WEST ELEVATION
SCALE: 1 : 200



NORTH-EAST ELEVATION
SCALE: 1 : 200



SOUTH-EAST ELEVATION
SCALE: 1 : 200



NORTH-WEST ELEVATION
SCALE: 1 : 200

EXTERNAL FINISHES

A	ALUMINIUM FRAMED GLAZING	CLEAR GLAZING
B	PRECAST CONCRETE PANEL	UNPAINTED
C	ALUMINIUM FRAMED POLYCARBONATE PANEL	TRANSLUCENT / WHITE
D	FIXED ALUMINIUM VERTICAL BATTENS	TIMBER LOOK
E	METAL CLADDING WITH VERTICAL PROFILES	WALLABY
F	METAL CLADDING WITH VERTICAL PROFILES, NARROW SPACING	MONUMENT
G	ROOF CLADDING	ZINCALUME
H	ROLLER SHUTTER DOOR	COLORBOND SHALE GREY
J	DOWNPipes / CAPPINGS / FASCIAS	COLORBOND WALLABY
K	BOLLARDS	SAFETY YELLOW
L	PRECAST CONCRETE PANEL, PAINTED	COLORBOND WALLABY
M	TEXTURED PRECAST CONCRETE PANEL RECESSED	UNPAINTED
N	ALUMINIUM FRAMED COLORBACK GLAZING	TINTED GREY
P	METAL CLADDING WITH VERTICAL PROFILES, NARROW SPACING	COLORBOND SHALE GREY
Q	FEATURE ALUMINIUM FRAME	BLACK
R	POWDER COATED WINDOW FRAMES	BLACK
S	FIXED ALUMINIUM HORIZONTAL LOUVRES	TIMBER LOOK
T	METAL CLADDING	COLORBOND DEEP OCEAN VARIES
U	ALUMINIUM SIDE-LIT SIGNAGE	VARIES
V	VENTILATION MECHANICAL LOUVRES	WALLABY / SHALE GREY

No.	DATE	REVISION	BY	CHK
P6	20.06.2023	ISSUE FOR APPROVAL	PR	JF
A	02.10.2023	ISSUE FOR LODGEMENT	AS	JF
P7	01.10.2024	ISSUE FOR APPROVAL	AS	JF
B	18.10.2024	ISSUE FOR LODGEMENT	AS	JF
C	12.02.2025	ISSUE FOR LODGEMENT	AS	JF

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PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
CARINGBAH - BUILDING 3
ELEVATIONS

CLIENT:

Aliro

DATE: NOVEMBER, 2023
DRAWN BY: DM
SCALE: 1 : 200 @ A1
SCALE: 1 : 400 @ A3

JOB NO:	21366
DRAWING NO:	320
REVISION:	C

watson
young

METHOD OF MEASUREMENT- GFA

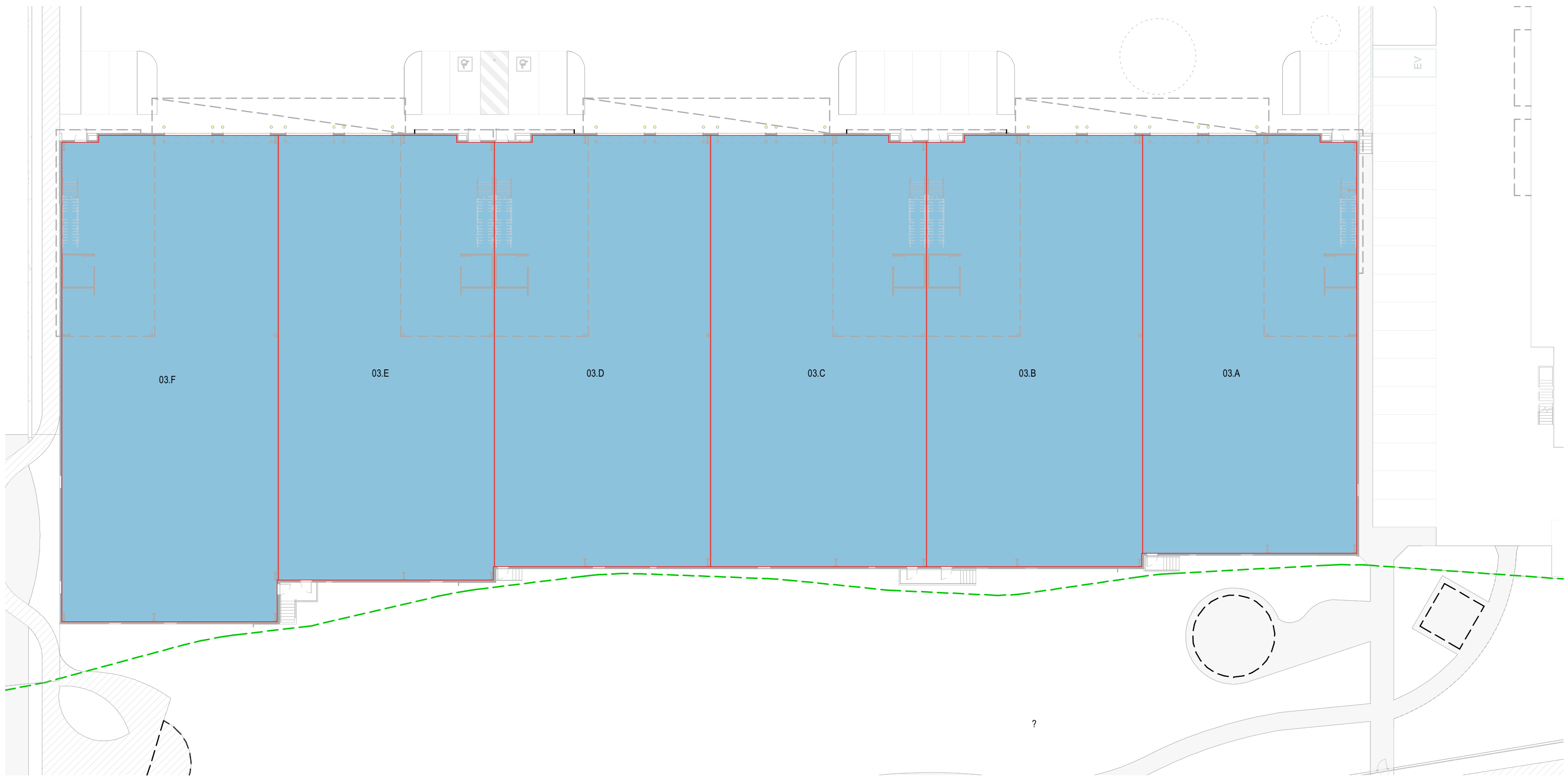
AS PER THE NSW LEGISLATION DEFINITION

GROSS FLOOR AREA (GFA) MEANS THE SUM OF THE FLOOR AREA OF EACH FLOOR OF A BUILDING MEASURED FROM THE INTERNAL FACE OF EXTERNAL WALLS, OR FROM THE INTERNAL FACE OF WALLS SEPARATING THE BUILDING FROM ANY OTHER BUILDING, MEASURED AT A HEIGHT OF 1.4 METRES ABOVE THE FLOOR, AND INCLUDES:

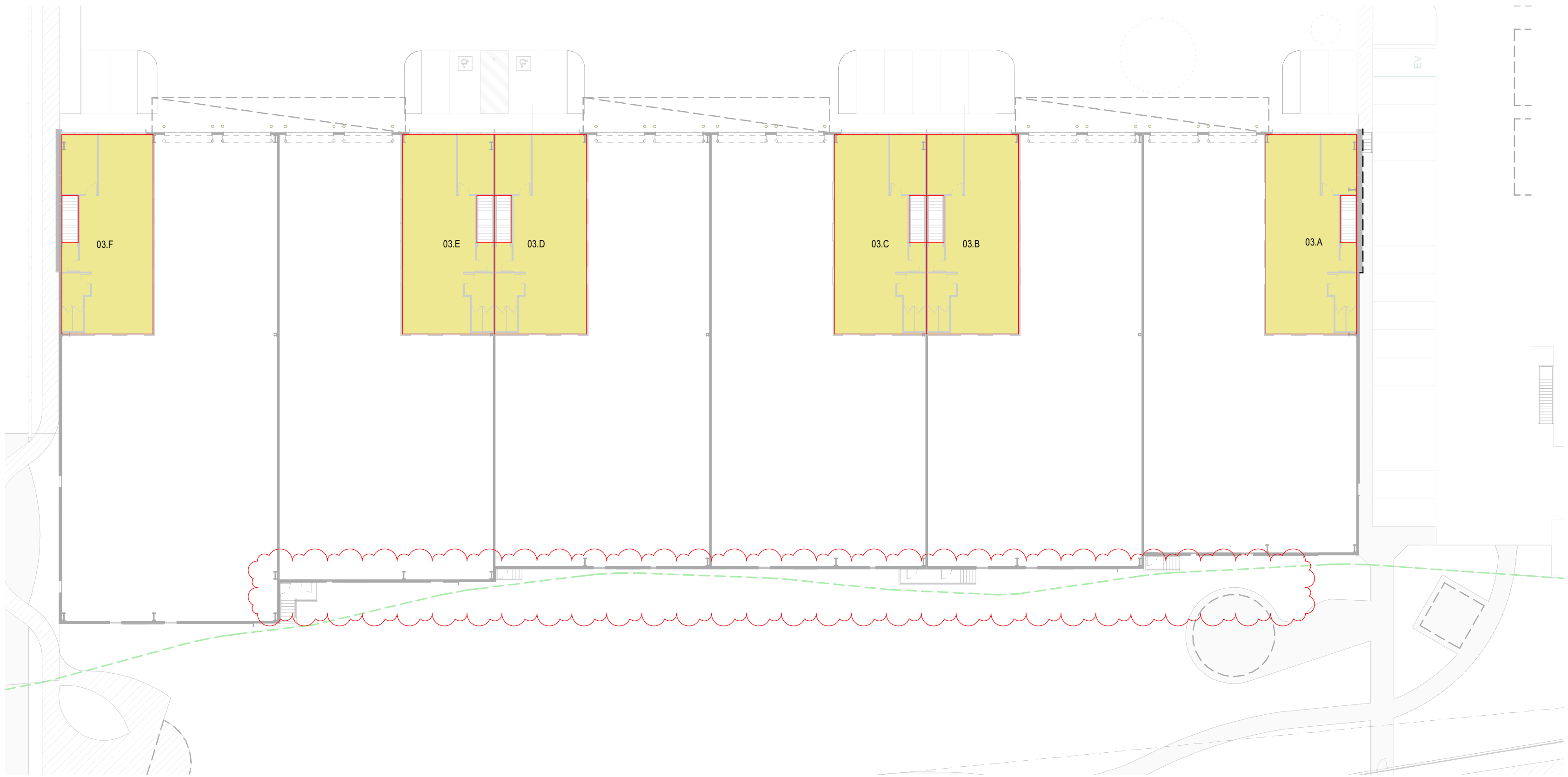
- (A) THE AREA OF A MEZZANINE, AND
(B) HABITABLE ROOMS IN A BASEMENT OR AN ATTIC, AND
(C) ANY SHOP, AUDITORIUM, CINEMA, AND THE LIKE, IN A BASEMENT OR ATTIC, BUT EXCLUDES:
(D) ANY AREA FOR COMMON VERTICAL CIRCULATION, SUCH AS LIFTS AND STAIRS, AND
(E) ANY BASEMENT;
(I) STORAGE, AND
(II) VEHICULAR ACCESS, LOADING AREAS, GARBAGE AND SERVICES, AND
(F) PLANT ROOMS, LIFT TOWERS AND OTHER AREAS USED EXCLUSIVELY FOR MECHANICAL SERVICES OR DUCTING, AND
(G) CAR PARKING TO MEET ANY REQUIREMENTS OF THE CONSENT AUTHORITY (INCLUDING ACCESS TO THAT CAR PARKING), AND
(H) ANY SPACE USED FOR THE LOADING OR UNLOADING OF GOODS (INCLUDING ACCESS TO IT), AND
(I) TERRACES AND BALCONIES WITH OUTER WALLS LESS THAN 1.4 METRES HIGH, AND
(J) VOIDS ABOVE A FLOOR AT THE LEVEL OF A STOREY OR STOREY ABOVE.

DEVELOPMENT ANALYSIS

USE	TENANCY	GFA
BUILDING 3		
WAREHOUSE	3A	649 m²
OFFICE	3A	126 m²
WAREHOUSE	3B	676 m²
OFFICE	3B	127 m²
WAREHOUSE	3C	677 m²
OFFICE	3C	127 m²
WAREHOUSE	3D	677 m²
OFFICE	3D	127 m²
WAREHOUSE	3E	698 m²
OFFICE	3E	127 m²
WAREHOUSE	3F	763 m²
OFFICE	3F	126 m²
TOTAL AREA		4,900 m²



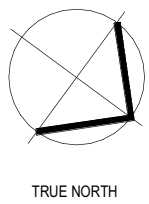
GFA AREA PLAN - GROUND FLOOR
SCALE: 1 : 300



GFA AREA PLAN - MEZZANINE
SCALE: 1 : 300

PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
BUILDING 3
AREA PLANS (GFA)



CLIENT:

Aliro

DATE: NOVEMBER, 2023
DRAWN BY: PR
SCALE: 1 : 250 @ A1
SCALE: 1 : 500 @ A3

JOB NO:	21366
DRAWING NO:	350
REVISION:	C

No.	DATE:	REVISION:	BY:	CHK:
P2	11.06.2023	ISSUE FOR APPROVAL	PR	JF
A	02.10.2023	ISSUE FOR LODGEMENT	AS	JF
P3	01.10.2024	ISSUE FOR APPROVAL	AS	JF
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C	12.02.2025	ISSUE FOR LODGEMENT	AS	JF

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DEVELOPMENT ANALYSIS

USE GFA

GROUND LEVEL	
WAREHOUSE	4,249 m ²
OFFICE MEZZANINE	884 m ²
LEVEL 1	
WAREHOUSE	2,972 m ²
OFFICE MEZZANINE	937 m ²
TOTAL BUILDING 4	9,042 m ²

PARKING BAYS PROVIDED

NEAR ESTATE ENTRY	32
ON GROUND LEVEL	44
ON LEVEL 1	45
TOTAL	121

NOTES

ALL NEW CROSSOVERS IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS

ALL DISABLED PARKING SPACES IN ACCORDANCE WITH AUSTRALIAN STANDARD AS2890 (5.4m x 2.4m)

SITE STORMWATER DRAINAGE IN ACCORDANCE WITH LOCAL AUTHORITY & COUNCIL REQUIREMENTS

FOOTPATHS MUST BE PROVIDED IN ACCORDANCE WITH THE PRINCIPLES OUTLINED IN THE AUSTRALIAN MODEL CODE FOR RESIDENTIAL DEVELOPMENT (AMCORD) FOR PEDESTRIAN FACILITIES (MIN 1.2M PEDESTRIAN FOOTPATHS; 2.5M SHARED PATHS)

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LEGEND

- INDICATES EXTENT OF HEAVY DUTY HARDSTAND TO CIVIL ENGINEERS DETAILS
- INDICATES EXTENT OF LIGHT DUTY PAVEMENT TO CIVIL ENGINEERS DETAILS
- CONCRETE PAVING
- PERMEABLE PAVING
- AREA OF GRASS / LANDSCAPING, REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR LANDSCAPE LAYOUT AND DETAILS
- SITE BOUNDARY
- FORESHORE LINE
- TRANSMISSION EASEMENT
- PARKING BAYS PROVIDED FOR BUILDING 5
- PARKING BAYS ALLOCATED TO OTHER ESTATE TENANCIES
- PROPOSED TREES
- EXISTING TREE PROTECTION ZONE
- EXISTING STRUCTURAL ROOT ZONE
- FN-01 1800mm HIGH BLACK VINYL COATED CYCLONE WIRE FENCE, 3 BARB WIRES TO 2100mm HIGH
- FN-02 1800mm HIGH BLACK PAINTED METAL PICKET (DIPLOMAT / PALISADE STYLE) FENCING
- FN-03 1800mm TIMBER-LOOKING SCREEN
- RWT RAINWATER TANK
NOTE: TANKS WILL BE USED FOR TOILETS, LANDSCAPE IRRIGATION AND WASH DOWN WHERE SUITABLE. REFER TO SUSTAINABLE MANAGEMENT PLAN (SMP) FOR FURTHER INFORMATION
- SG / SW SLIDING GATE / SWING GATE
- PA PERSONNEL ACCESS DOOR
- RSD ROLLER SHUTTER DOOR
- FHR FIRE HOSE REEL
- DP DOWNPIPE
- RWH RAINWATER HEAD
- RW RETAINING WALL
- TX TRANSFORMER KIOSK
- PS PYLON SIGN
- B BOLLARD

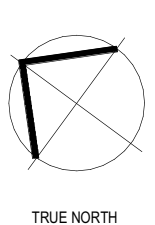
No.	DATE:	REVISION:	BY:	CHK:
P10	20.09.2024	ISSUE FOR APPROVAL	AS	JF
P11	30.09.2024	ISSUE FOR APPROVAL	AS	JF
B	18.10.2024	ISSUE FOR LODGEMENT	AS	JF
P12	11.02.2025	ISSUE FOR APPROVAL	AS	JF
C	12.02.2025	ISSUE FOR LODGEMENT	AS	JF

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PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
BUILDING 4
SITE PLAN



CLIENT:



DATE: SEPTEMBER, 2022
DRAWN BY: AS
SCALE: 1:250 @ A1
SCALE:

JOB NO:	21366
DRAWING NO:	400
REVISION:	C



DEVELOPMENT ANALYSIS

USE	GFA
GROUND LEVEL	
WAREHOUSE	4,249 m²
OFFICE MEZZANINE	884 m²
LEVEL 1	
WAREHOUSE	2,972 m²
OFFICE MEZZANINE	937 m²
TOTAL BUILDING 4	9,042 m²

PARKING BAYS PROVIDED	
NEAR ESTATE ENTRY	36
ON GROUND LEVEL	50
ON LEVEL 1	45
TOTAL	131

NOTES

ALL NEW CROSSOVERS IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS

ALL DISABLED PARKING SPACES IN ACCORDANCE WITH AUSTRALIAN STANDARD AS2890 (5.4m x 2.4m)

SITE STORMWATER DRAINAGE IN ACCORDANCE WITH LOCAL AUTHORITY & COUNCIL REQUIREMENTS

FOOTPATHS MUST BE PROVIDED IN ACCORDANCE WITH THE PRINCIPLES OUTLINED IN THE AUSTRALIAN MODEL CODE FOR RESIDENTIAL DEVELOPMENT (AMCORD) FOR PEDESTRIAN FACILITIES (MIN 1.2M PEDESTRIAN FOOTPATHS; 2.5M SHARED PATHS)

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LEGEND

- INDICATES EXTENT OF HEAVY DUTY HARDBRAND TO CIVIL ENGINEERS DETAILS
- INDICATES EXTENT OF LIGHT DUTY PAVEMENT TO CIVIL ENGINEERS DETAILS
- CONCRETE PAVING
- PERMEABLE PAVING
- AREA OF GRASS / LANDSCAPING. REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR LANDSCAPE LAYOUT AND DETAILS
- SITE BOUNDARY
- FORESHORE LINE
- TRANSMISSION EASEMENT
- PARKING BAYS PROVIDED FOR BUILDING 5
- PARKING BAYS ALLOCATED TO OTHER ESTATE TENANCIES
- PROPOSED TREES
- EXISTING TREE PROTECTION ZONE
- EXISTING STRUCTURAL ROOT ZONE
- FN-01 1800mm HIGH BLACK VINYL COATED CYCLONE WIRE FENCE, 3 BARB WIRES TO 2100mm HIGH
- FN-02 1800mm HIGH BLACK PAINTED METAL PICKET (DIPLOMAT / PALISADE STYLE) FENCING
- FN-03 1800mm TIMBER-LOOKING SCREEN
- RWT RAINWATER TANK
NOTE: TANKS WILL BE USED FOR TOILETS, LANDSCAPE IRRIGATION AND WASH DOWN WHERE SUITABLE.
REFER TO SUSTAINABLE MANAGEMENT PLAN (SMP) FOR FURTHER INFORMATION
- SG / SW SLIDING GATE / SWING GATE
- PA PERSONNEL ACCESS DOOR
- RSD ROLLER SHUTTER DOOR
- FHR FIRE HOSE REEL
- DP DOWNPIPE
- RWH RAINWATER HEAD
- RW RETAINING WALL
- TX TRANSFORMER KIOSK
- PS PYLON SIGN
- B BOLLARD

No.	DATE	REVISION	BY:	CHK:
P10	11.09.2023	ISSUE FOR APPROVAL	AS	JF
A	27.09.2023	FOR LODGEMENT	AS	JF
P11	20.09.2024	ISSUE FOR APPROVAL	AS	JF
P12	30.09.2024	ISSUE FOR APPROVAL	AS	JF
B	18.10.2024	ISSUE FOR LODGEMENT	AS	JF

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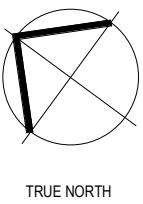
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DATE: SEPTEMBER, 2022
DRAWN BY: AS
SCALE: 1:250 @ A1
SCALE:

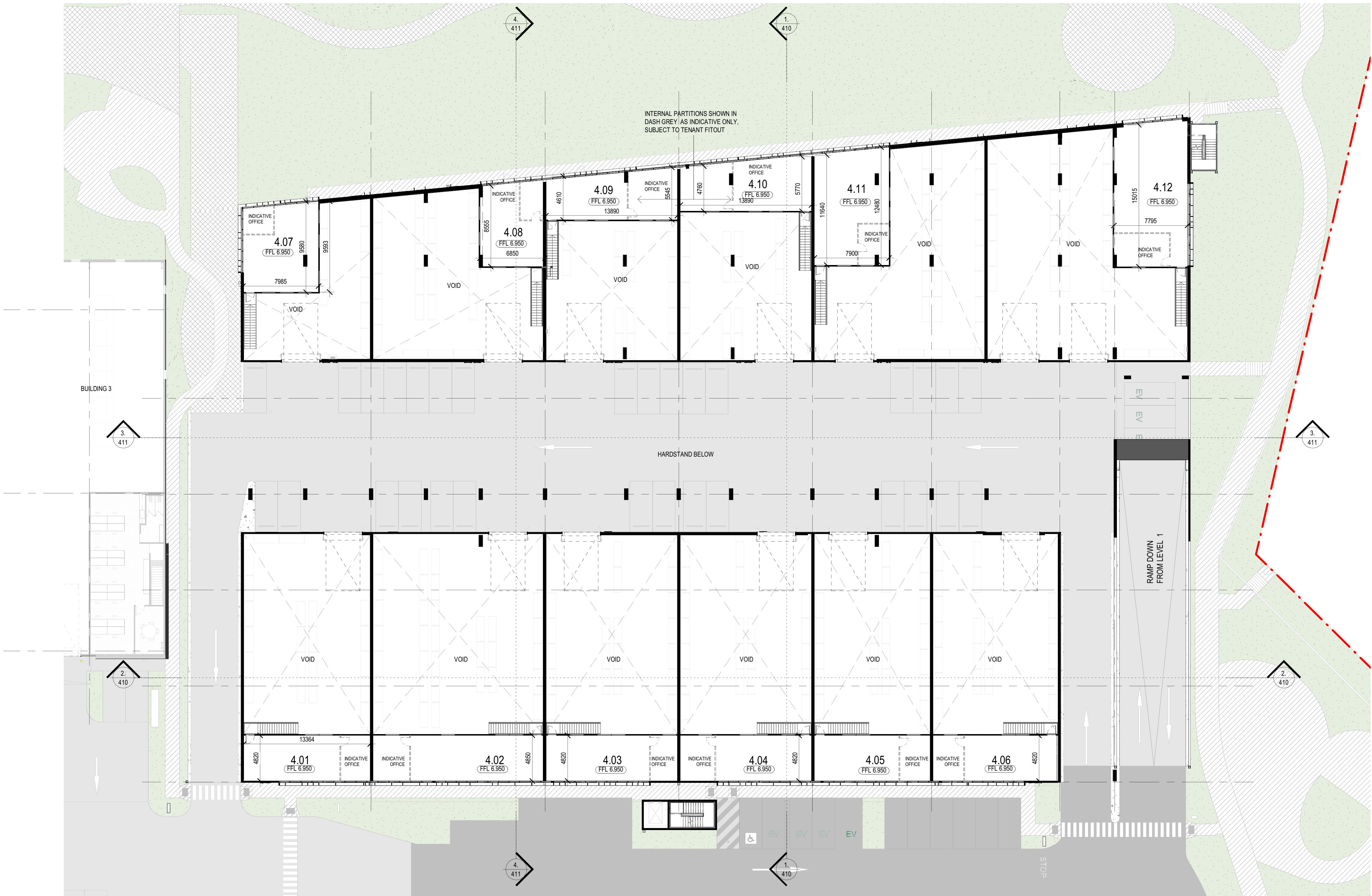
JOB NO:	21366
DRAWING NO:	401
REVISION:	B

CLIENT:



TITLE:
BUILDING 4
FIRST FLOOR

PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229



DEVELOPMENT ANALYSIS

USE GFA

GROUND LEVEL	
WAREHOUSE	4,249 m ²
OFFICE MEZZANINE	884 m ²

LEVEL 1	
WAREHOUSE	2,972 m ²
OFFICE MEZZANINE	937 m ²
TOTAL BUILDING 4	9,042 m ²

PARKING BAYS PROVIDED

NEAR ESTATE ENTRY	32
ON GROUND LEVEL	44
ON LEVEL 1	45
TOTAL	121

NOTES

ALL NEW CROSSOVERS IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS

ALL DISABLED PARKING SPACES IN ACCORDANCE WITH AUSTRALIAN STANDARD AS2890 (5.4m x 2.4m)

SITE STORMWATER DRAINAGE IN ACCORDANCE WITH LOCAL AUTHORITY & COUNCIL REQUIREMENTS

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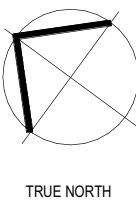
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LEGEND

	INDICATES EXTENT OF HEAVY DUTY HARDSTAND TO CIVIL ENGINEERS DETAILS
	INDICATES EXTENT OF LIGHT DUTY PAVEMENT TO CIVIL ENGINEERS DETAILS
	CONCRETE PAVING
	PERMEABLE PAVING
	AREA OF GRASS / LANDSCAPING. REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR LANDSCAPE LAYOUT AND DETAILS
	SITE BOUNDARY
	FORESHORE LINE
	TRANSMISSION EASEMENT
	PARKING BAYS PROVIDED FOR BUILDING 5
	PARKING BAYS ALLOCATED TO OTHER ESTATE TENANCIES
	PROPOSED TREES
	EXISTING TREE PROTECTION ZONE
	EXISTING STRUCTURAL ROOT ZONE
FN-01	1800mm HIGH BLACK VINYL COATED CYCLONE WIRE FENCE, 3 BARB WIRES TO 2100mm HIGH
FN-02	1800mm HIGH BLACK PAINTED METAL PICKET (DIPLOMAT / PALISADE STYLE) FENCING
FN-03	1800mm TIMBER-LOOKING SCREEN
RWT	RAINWATER TANK NOTE: TANKS WILL BE USED FOR TOILETS, LANDSCAPE IRRIGATION AND WASH DOWN WHERE SUITABLE. REFER TO SUSTAINABLE MANAGEMENT PLAN (SMP) FOR FURTHER INFORMATION
SG / SW	SLIDING GATE / SWING GATE
PA	PERSONNEL ACCESS DOOR
RSD	ROLLER SHUTTER DOOR
FHR	FIRE HOSE REEL
DP	DOWNPIPE
RWH	RAINWATER HEAD
RW	RETAINING WALL
TX	TRANSFORMER KIOSK
PS	PYLON SIGN
B	BOLLARD

PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
GROUND FLOOR MEZZANINE



CLIENT:
Aliro

DATE: SEPTEMBER, 2022
DRAWN BY: AS
SCALE: 1:250 @ A1
SCALE:

JOB NO:	21366
DRAWING NO:	402
REVISION:	C

watson young

No.	DATE:	REVISION:	BY:	CHK:
P4	18.09.2023	ISSUE FOR APPROVAL	AS	JF
A	27.08.2023	FOR LODGEMENT	AS	JF
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DEVELOPMENT ANALYSIS

USE	GFA
GROUND LEVEL	
WAREHOUSE	4,249 m²
OFFICE MEZZANINE	884 m²

LEVEL 1	
WAREHOUSE	2,972 m²
OFFICE MEZZANINE	937 m²
TOTAL BUILDING 4	9,042 m²

PARKING BAYS PROVIDED	
NEAR ESTATE ENTRY	36
ON GROUND LEVEL	50
ON LEVEL 1	45
TOTAL	131

NOTES

ALL NEW CROSSTRAVERS IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS

ALL DISABLED PARKING SPACES IN ACCORDANCE WITH AUSTRALIAN STANDARD AS2890 (5.4m x 2.4m)

SITE STORMWATER DRAINAGE IN ACCORDANCE WITH LOCAL AUTHORITY & COUNCIL REQUIREMENTS

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- INDICATES EXTENT OF LIGHT DUTY PAVEMENT TO CIVIL ENGINEERS DETAILS
- CONCRETE PAVING
- PERMEABLE PAVING
- AREA OF GRASS / LANDSCAPING. REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR LANDSCAPE LAYOUT AND DETAILS
- SITE BOUNDARY
- FORESHORE LINE
- TRANSMISSION EASEMENT
- PARKING BAYS PROVIDED FOR BUILDING 5
- PARKING BAYS ALLOCATED TO OTHER ESTATE TENANCIES
- PROPOSED TREES
- EXISTING TREE PROTECTION ZONE
- EXISTING STRUCTURAL ROOT ZONE
- FN-01

1800mm HIGH BLACK VINYL COATED CYCLOPE WIRE FENCE, 3 BARB WIRES TO 2100mm HIGH
- FN-02

1800mm HIGH BLACK PAINTED METAL PICKET (DIPLOMAT / PALISADE STYLE) FENCING
- FN-03

1800mm TIMBER-LOOKING SCREEN
- RWT

RAINWATER TANK
NOTE: TANKS WILL BE USED FOR TOILETS, LANDSCAPE IRRIGATION AND WASH DOWN WHERE SUITABLE.
REFER TO SUSTAINABLE MANAGEMENT PLAN (SMP) FOR FURTHER INFORMATION
- SG / SW

SLIDING GATE / SWING GATE
- PA

PERSONNEL ACCESS DOOR
- RSD

ROLLER SHUTTER DOOR
- FHR

FIRE HOSE REEL
- DP

DOWNPIPE
- RWH

RAINWATER HEAD
- RW

RETAINING WALL
- TX

TRANSFORMER KIOSK
- PS

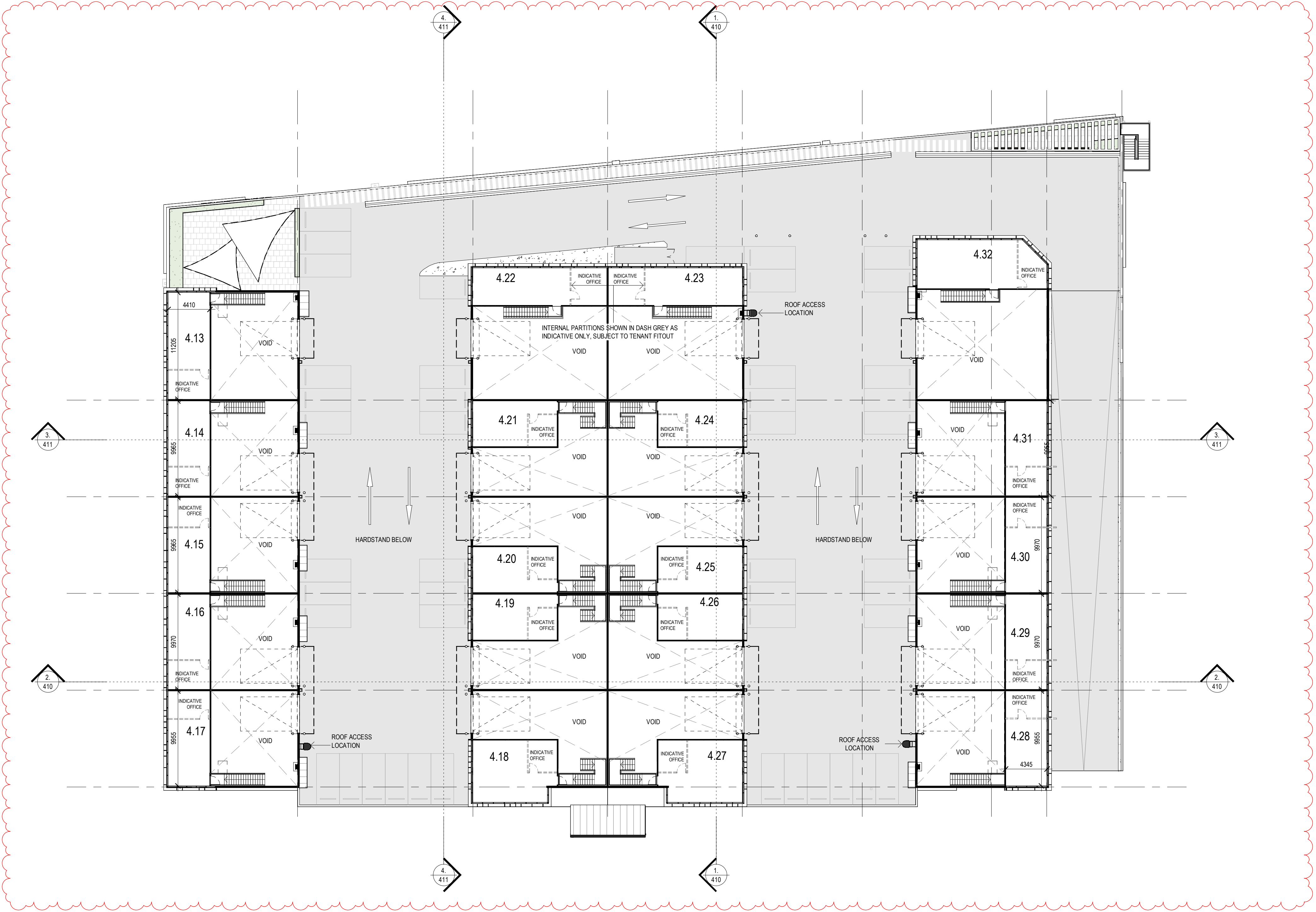
PYLON SIGN
- B

BOLLARD

No.	DATE	REVISION	BY	CHK
P3	11.09.2023	ISSUE FOR APPROVAL	AS	JF
P4	18.09.2023	ISSUE FOR APPROVAL	AS	JF
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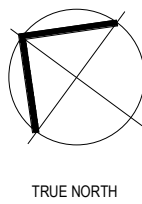
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PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
FIRST FLOOR MEZZANINE



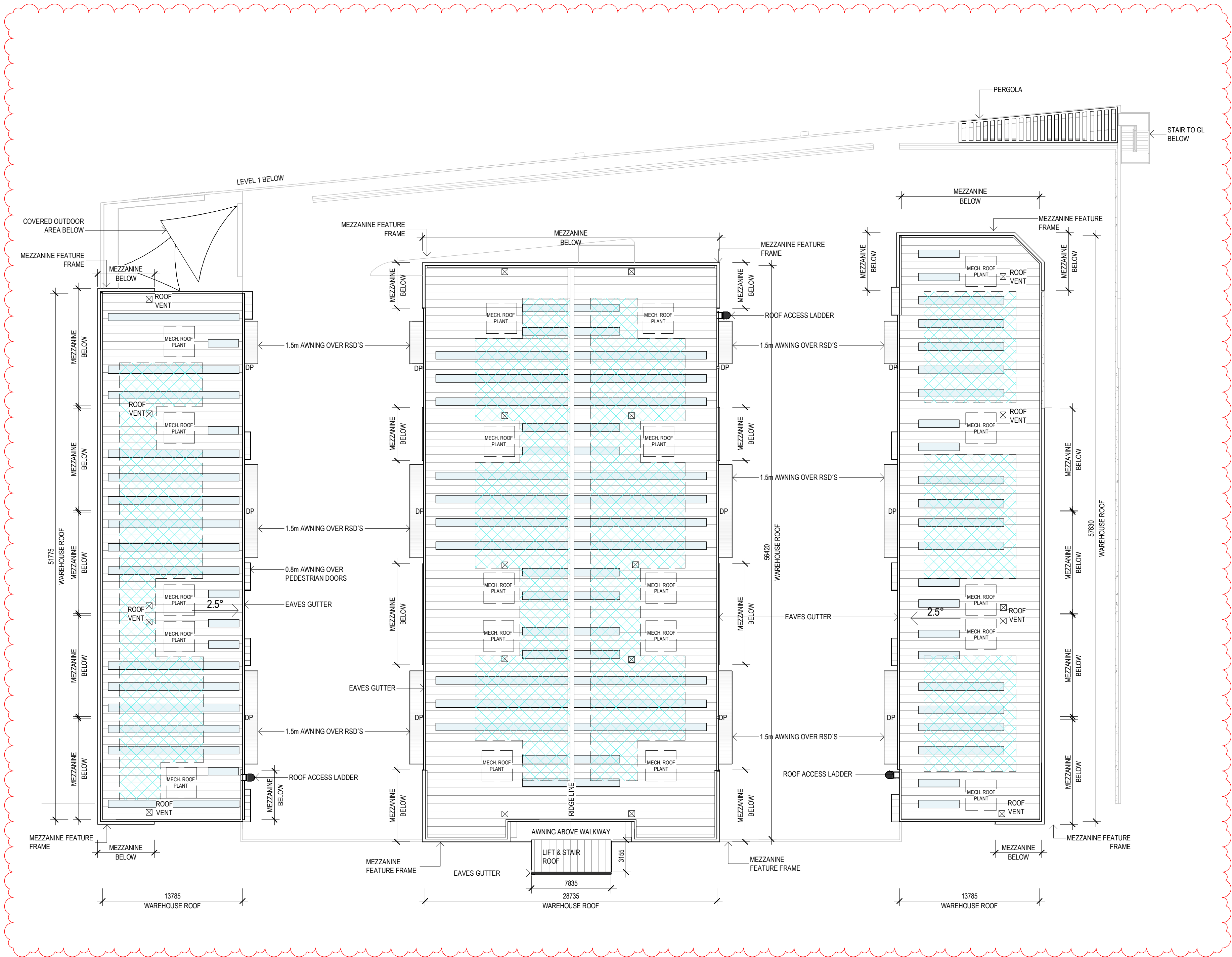
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Aliro

DATE: SEPTEMBER, 2022
DRAWN BY: AS
SCALE: 1:250 @ A1
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JOB NO:	21366
DRAWING NO:	403
REVISION:	B

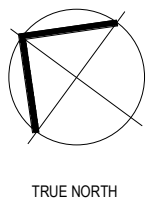
LEGEND: ROOF PLAN

ZONE FOR SOLAR PANELS TO CONTRACTORS DETAILS
COORDINATE LAYOUT WITH ROOF FANS, ROOF LIGHTS, LIGHTNING
PROTECTION AND OTHER SERVICES



PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
BUILDING 4
ROOF PLAN



CLIENT:

Aliro

DATE: SEPTEMBER, 2022
DRAWN BY: AS
SCALE: 1:250 @ A1
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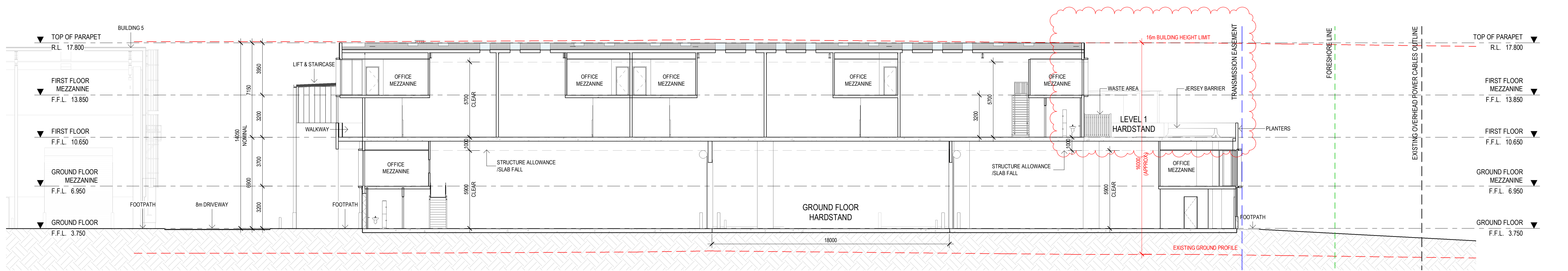
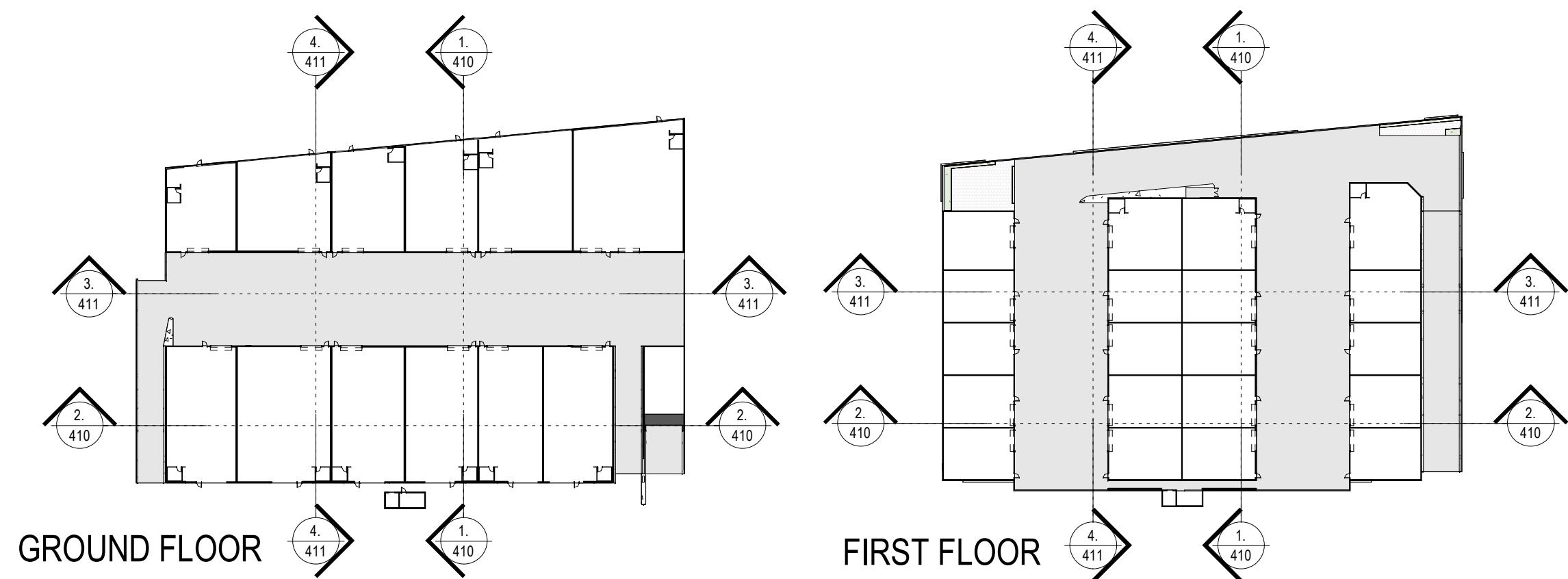
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REVISION:	B

watson
young

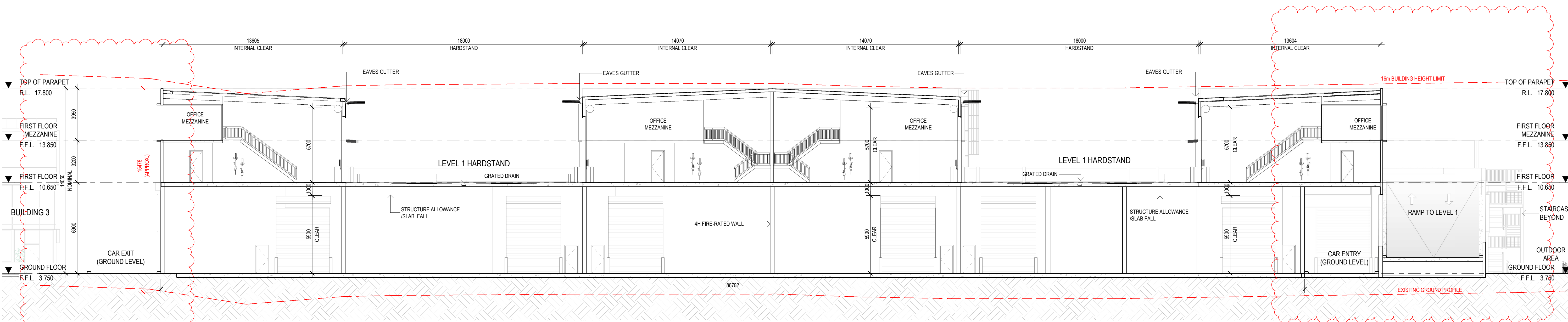
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P5	18.09.2023	ISSUE FOR APPROVAL	AS	JF
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P6	30.09.2024	ISSUE FOR APPROVAL	AS	JF
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CROSS SECTION No 1
SCALE: 1: 150



CROSS SECTION No 2
SCALE: 1: 150

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PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
BUILDING 4
SECTIONS

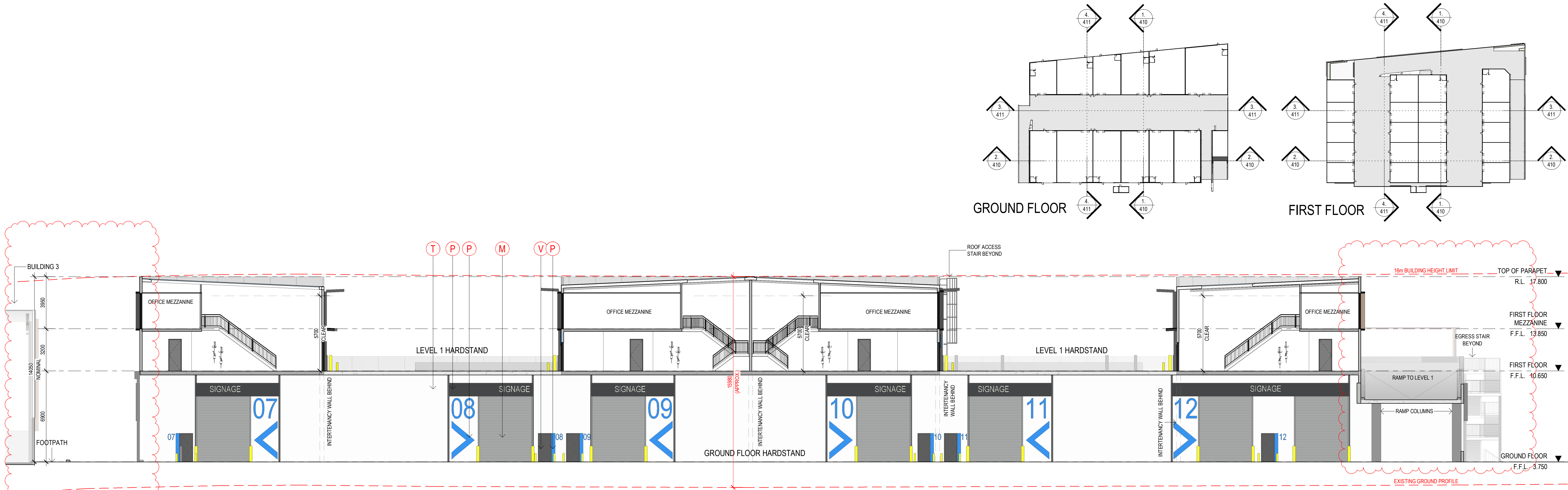
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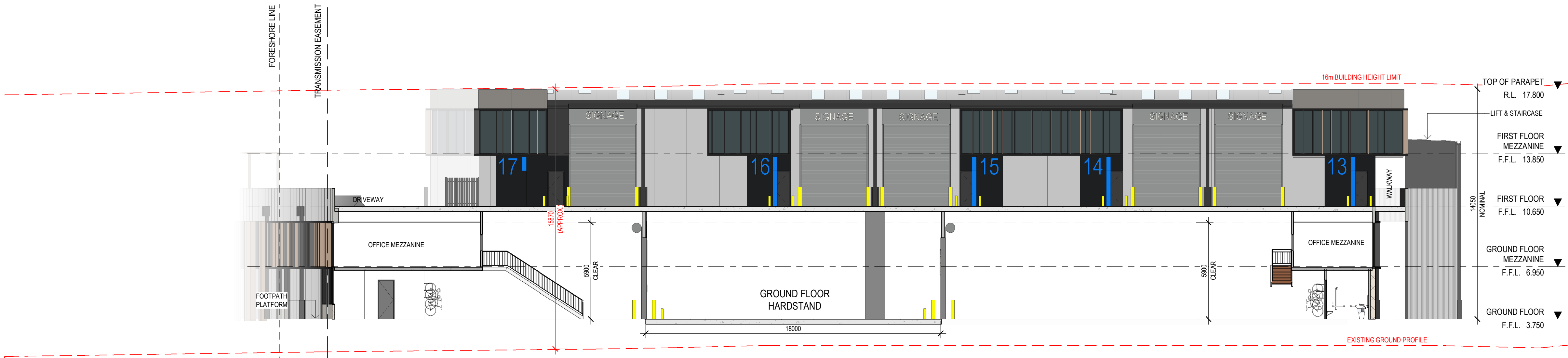
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JOB NO:
21366
DRAWING NO:
410
REVISION:
B

watson
young



CROSS SECTION No 3
SCALE: 1 : 150



CROSS SECTION No 4
SCALE: 1 : 150

EXTERNAL FINISHES

(A)	ALUMINIUM FRAMED GLAZING	CLEAR GLAZING
(B)	PRECAST CONCRETE PANEL	UNPAINTED
(C)	PRECAST CONCRETE PANEL, PAINTED	WALLABY
(D)	PRECAST CONCRETE PANEL, PAINTED	MONUMENT
(E)	CONCRETE BLOCK HONED FINISH OR SIMILAR	LIGHT GREY / LIGHT BROWN
(F)	POWDER COATED WINDOW FRAMES	BLACK
(G)	FIXED ALUMINIUM VERTICAL FIN	TIMBER-LOOKING COLOR
(H)	FIXED ALUMINIUM VERTICAL FIN	DARK GREY COLOR
(J)	DOWNPIPES / CAPPINGS / FASCIAS	COLORBOND MONUMENT
(K)	SIDE-LIT SIGNAGE	VARIES
(L)	ROOF CLADDING	ZINCALUME
(M)	ROLLER SHUTTER DOOR CLADDING	COLORBOND WINDSPRAY
(N)	BOLLARDS	SAFETY YELLOW
(P)	PAINTED SIGNAGE	VARIES
(S)	VERTICAL STEEL BARS	BLACK
(T)	PRECAST CONCRETE PANEL, PAINTED	WHITE COLOR
(U)	TEXTURED CONCRETE PANEL	UNPAINTED
(V)	PA DOOR	COLORBOND MONUMENT
(X)	POWDER COATED ENTRY FRAME	COLORBOND MONUMENT

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P4	06.09.2023	ISSUE FOR APPROVAL	AS	JF
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PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
BUILDING 4
SECTIONS / ELEVATIONS

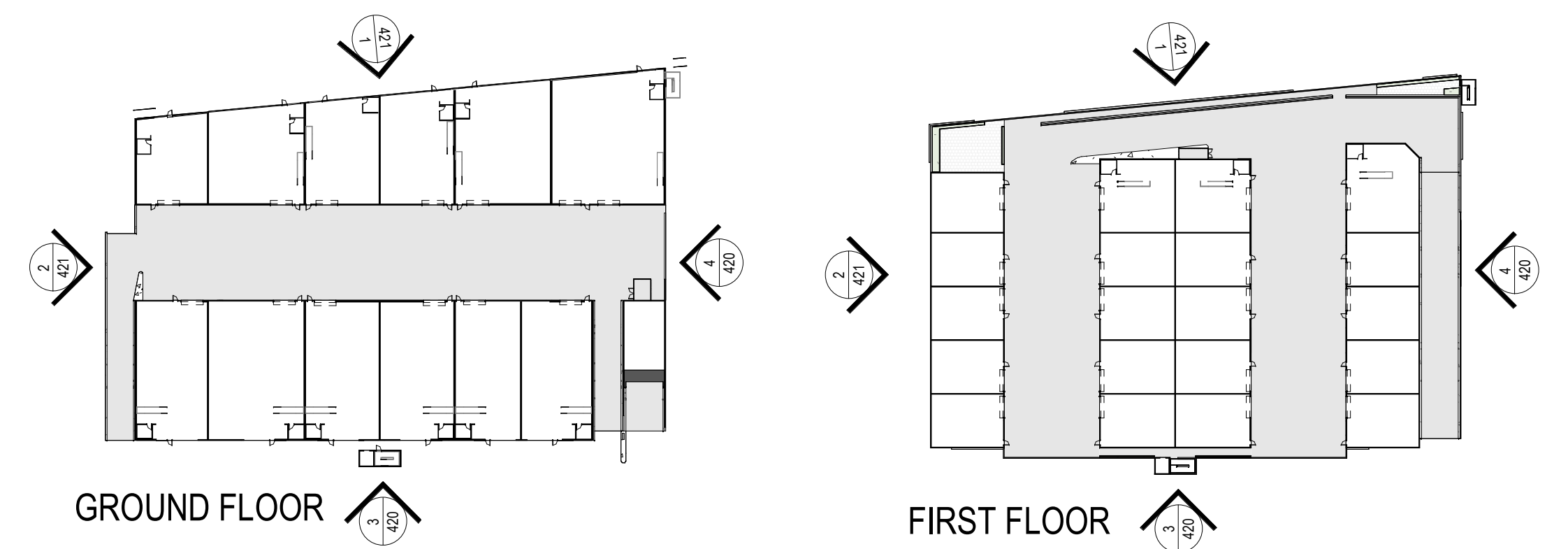
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Aliro A

DATE: SEPTEMBER, 2022
DRAWN BY: AS
SCALE: 1:150 @ A1
SCALE:

JOB NO:	21366
DRAWING NO:	411
REVISION:	B

watson
young



EXTERNAL FINISHES

A	ALUMINIUM FRAMED GLAZING	CLEAR GLAZING
B	PRECAST CONCRETE PANEL	UNPAINTED
C	PRECAST CONCRETE PANEL, PAINTED	WALLABY
D	PRECAST CONCRETE PANEL, PAINTED	MONUMENT
E	CONCRETE BLOCK HONED FINISH OR SIMILAR	LIGHT GREY / LIGHT BROWN
F	POWDER COATED WINDOW FRAMES	BLACK
G	FIXED ALUMINIUM VERTICAL FIN	TIMBER-LOOKING COLOR
H	FIXED ALUMINIUM VERTICAL FIN	DARK GREY COLOR
J	DOWNPIPES / CAPPINGS / FASCIAS	COLORBOND MONUMENT
K	SIDE-LIT SIGNAGE	VARIES
L	ROOF CLADDING	ZINCALUME
M	ROLLER SHUTTER DOOR CLADDING	COLORBOND WINDSPRAY
N	BOLLARDS	SAFETY YELLOW
P	PAINTED SIGNAGE	VARIES
S	VERTICAL STEEL BARS	BLACK
T	PRECAST CONCRETE PANEL, PAINTED	WHITE COLOR
U	TEXTURED CONCRETE PANEL	UNPAINTED
V	PA DOOR	COLORBOND MONUMENT
X	POWDER COATED ENTRY FRAME	COLORBOND MONUMENT

No.	DATE:	REVISION:	BY:	CHK:
P5	06.09.2023	ISSUE FOR APPROVAL	AS	JF
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PROJECT:
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13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
BUILDING 4
ELEVATIONS

CLIENT:

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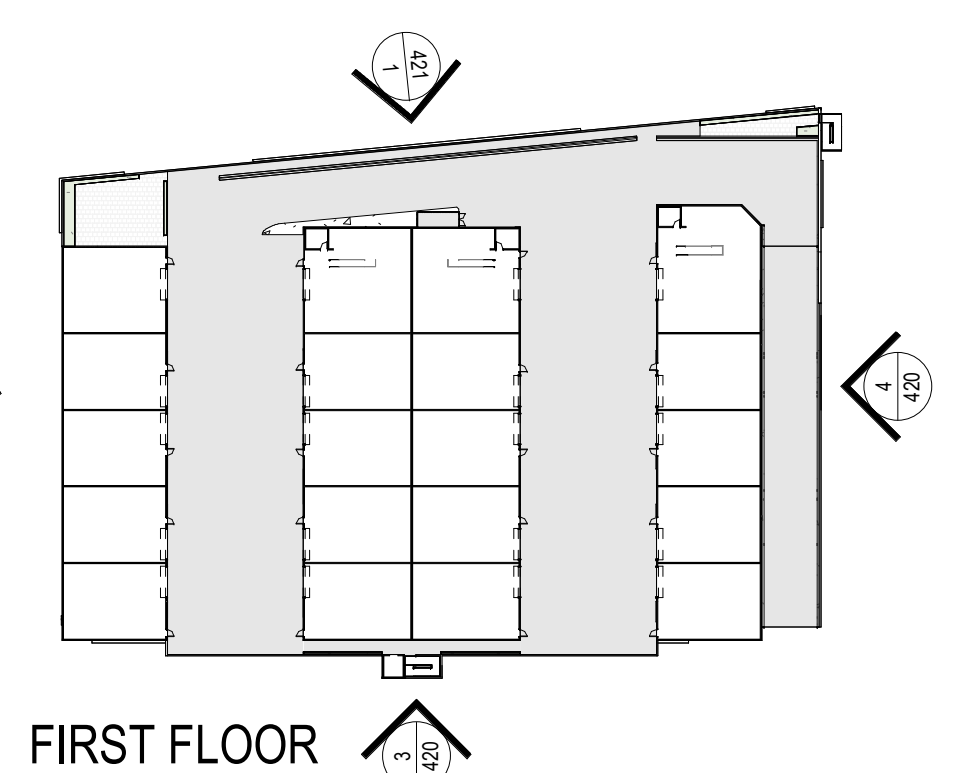
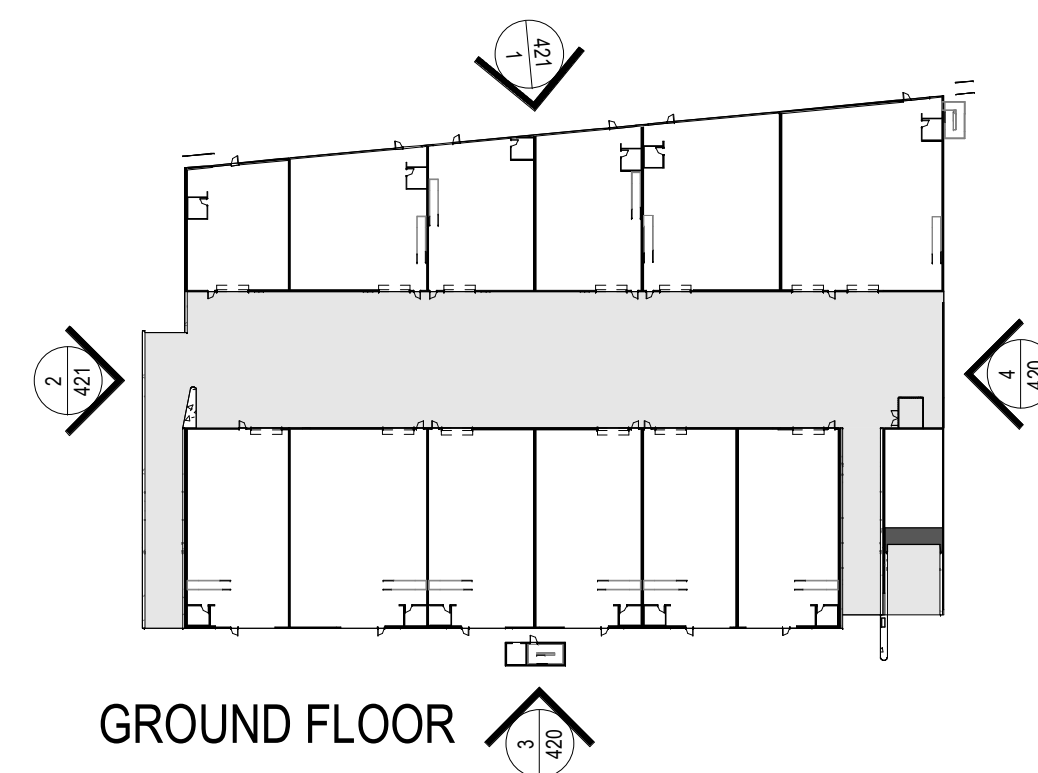
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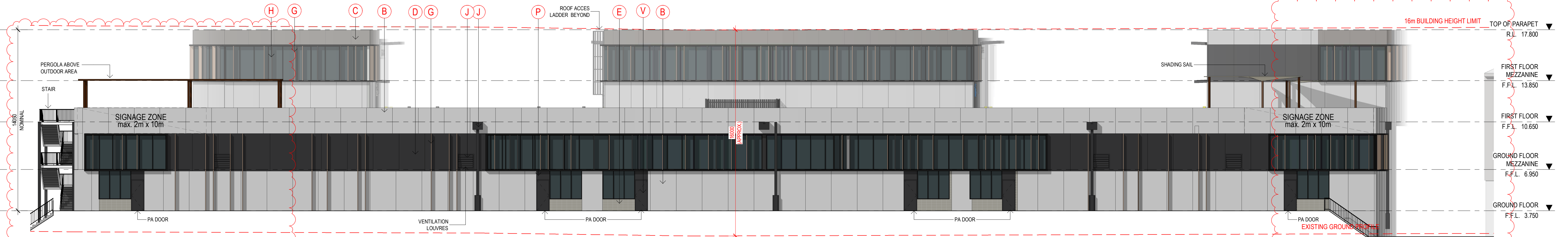
REVISION:
B

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young**

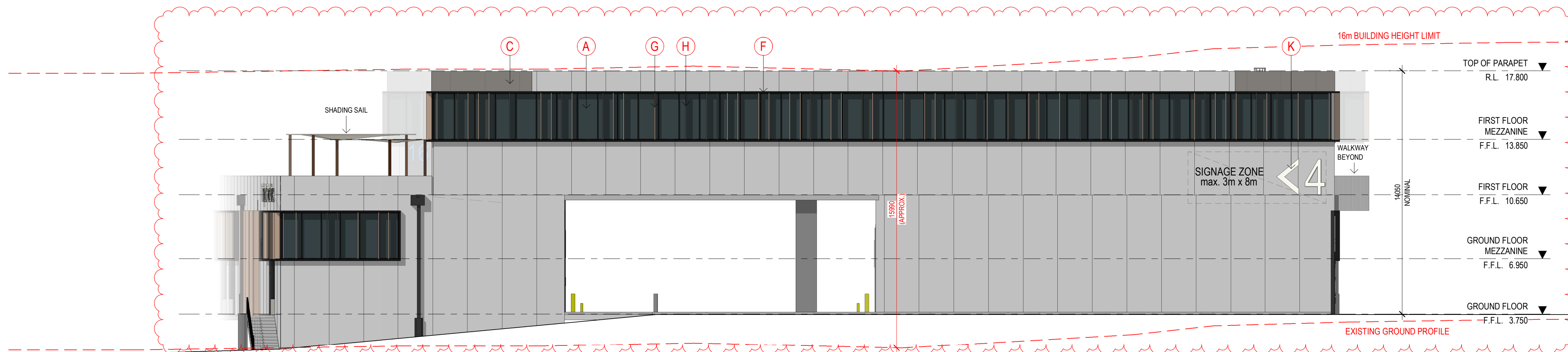


GROUND FLOOR

FIRST FLOOR



1. NORTH-EAST ELEVATION
SCALE: 1 : 150



2. NORTH-WEST ELEVATION
SCALE: 1 : 150

EXTERNAL FINISHES

(A)	ALUMINIUM FRAMED GLAZING	CLEAR GLAZING
(B)	PRECAST CONCRETE PANEL	UNPAINTED
(C)	PRECAST CONCRETE PANEL, PAINTED	WALLABY
(D)	PRECAST CONCRETE PANEL, PAINTED	MONUMENT
(E)	CONCRETE BLOCK HONED FINISH OR SIMILAR	LIGHT GREY / LIGHT BROWN
(F)	POWDER COATED WINDOW FRAMES	BLACK
(G)	FIXED ALUMINIUM VERTICAL FIN	TIMBER-LOOKING COLOR
(H)	FIXED ALUMINIUM VERTICAL FIN	DARK GREY COLOR
(J)	DOWNPIPES / CAPPINGS / FASCIAS	COLORBOND MONUMENT
(K)	SIDE-LIT SIGNAGE	VARIES
(L)	ROOF CLADDING	ZINCALUME
(M)	ROLLER SHUTTER DOOR CLADDING	COLORBOND WINDSPRAY
(N)	BOLLARDS	SAFETY YELLOW
(P)	PAINTED SIGNAGE	VARIES
(S)	VERTICAL STEEL BARS	BLACK
(T)	PRECAST CONCRETE PANEL, PAINTED	WHITE COLOR
(U)	TEXTURED CONCRETE PANEL	UNPAINTED
(V)	PA DOOR	COLORBOND MONUMENT
(X)	POWDER COATED ENTRY FRAME	COLORBOND MONUMENT

No.	DATE:	REVISION:	BY:	CHK:
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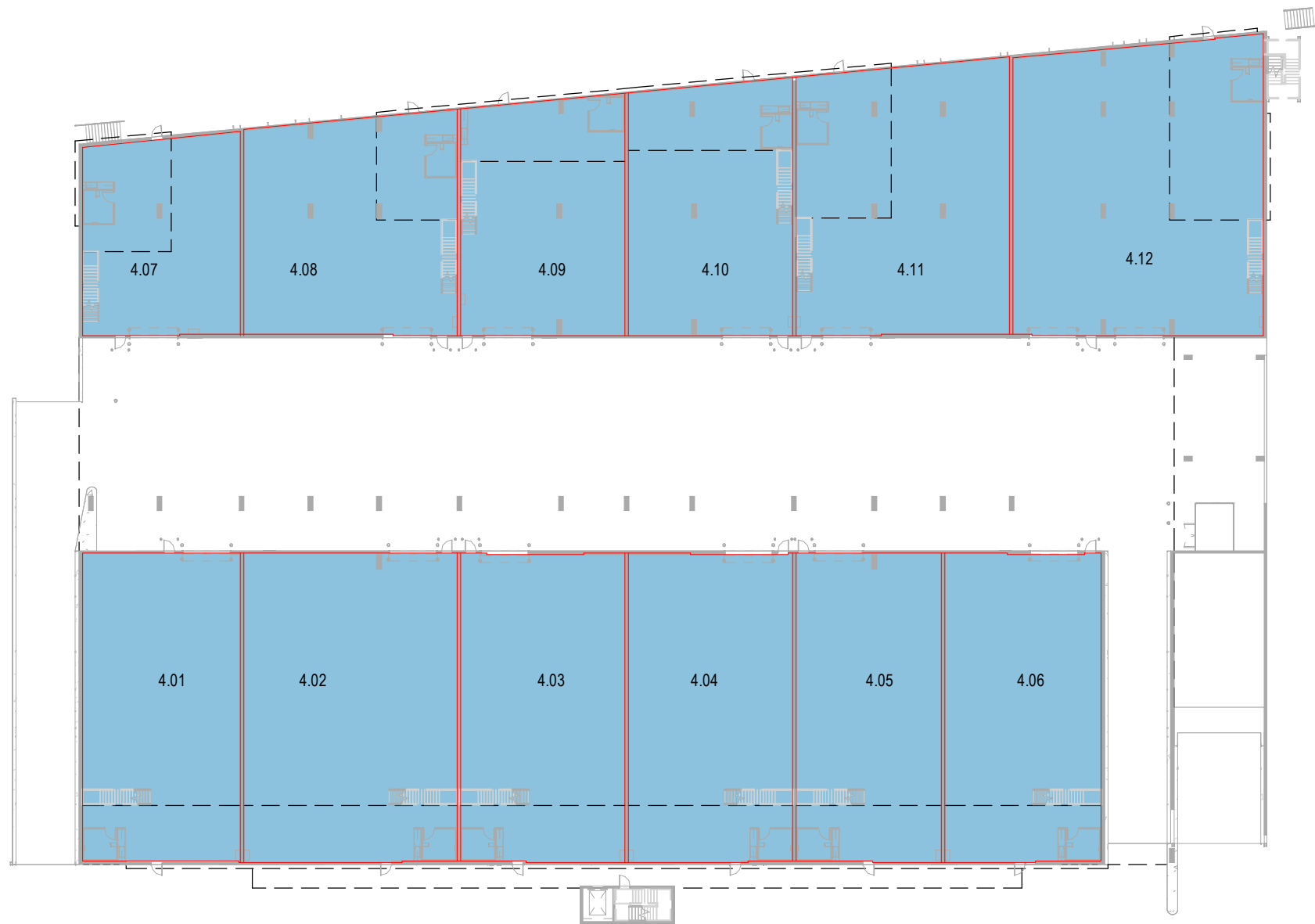
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ELEVATIONS

CLIENT:
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DATE: SEPTEMBER, 2022
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21366
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REVISION:
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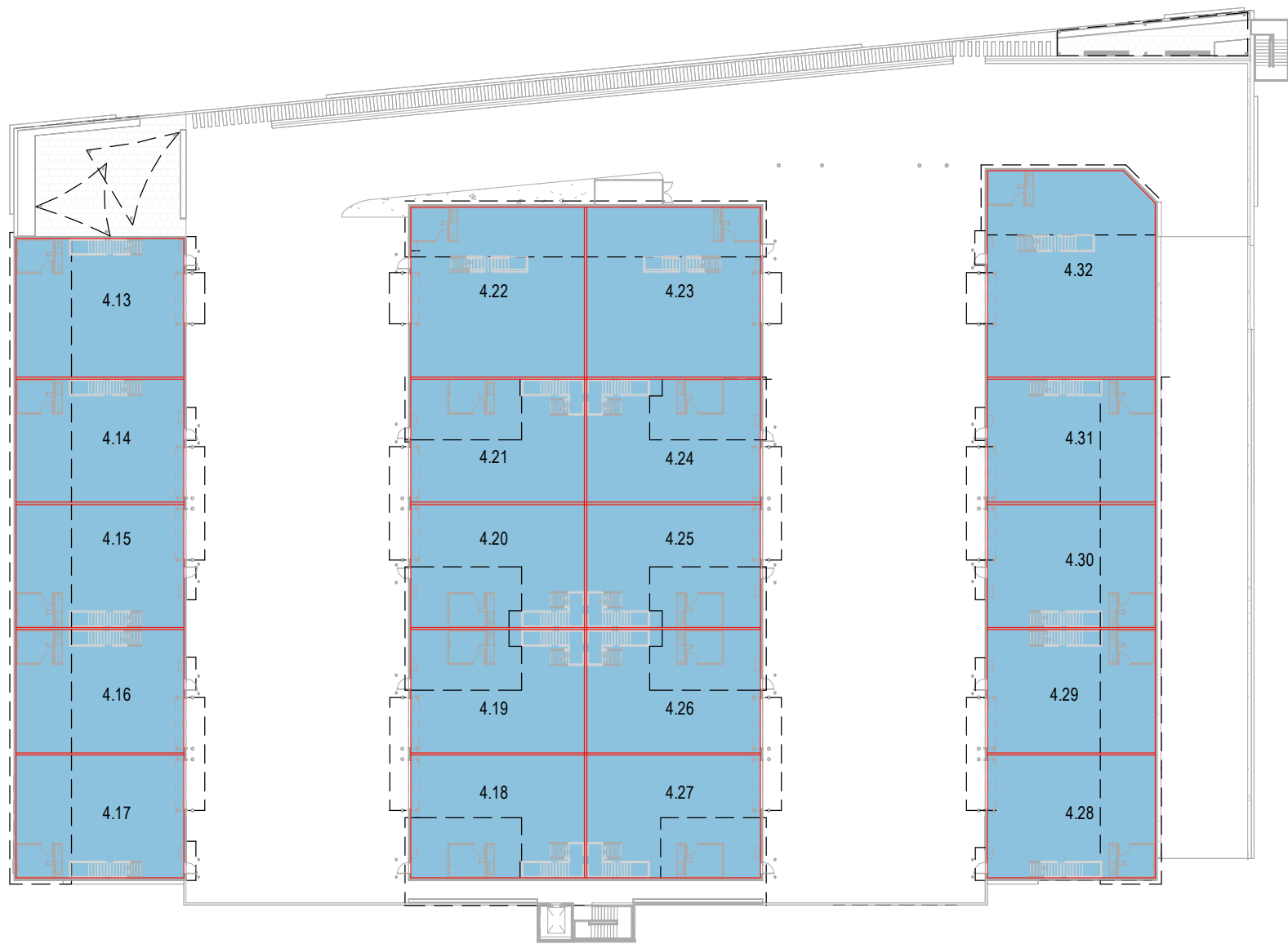
watson
young



GFA AREA PLAN - GROUND FLOOR
SCALE: 1 : 500



GFA AREA PLAN - GROUND FLOOR MEZZANINE
SCALE: 1 : 500



GFA AREA PLAN - FIRST FLOOR
SCALE: 1 : 500



GFA AREA PLAN - FIRST FLOOR MEZZANINE
SCALE: 1 : 500

GFA DEVELOPMENT ANALYSIS

GROUND FLOOR

4.01	
WAREHOUSE	348 m ²
OFFICE MEZZANINE	64 m ²
4.02	
WAREHOUSE	470 m ²
OFFICE MEZZANINE	87 m ²
4.03	
WAREHOUSE	361 m ²
OFFICE MEZZANINE	67 m ²
4.04	
WAREHOUSE	362 m ²
OFFICE MEZZANINE	67 m ²
4.05	
WAREHOUSE	319 m ²
OFFICE MEZZANINE	59 m ²

4.06	
WAREHOUSE	344 m ²
OFFICE MEZZANINE	64 m ²
4.07	
WAREHOUSE	221 m ²
OFFICE MEZZANINE	72 m ²
4.08	
WAREHOUSE	328 m ²
OFFICE MEZZANINE	57 m ²
4.09	
WAREHOUSE	276 m ²
OFFICE MEZZANINE	65 m ²
4.10	
WAREHOUSE	294 m ²
OFFICE MEZZANINE	71 m ²
4.11	
WAREHOUSE	408 m ²
OFFICE MEZZANINE	94 m ²
4.12	
WAREHOUSE	518 m ²
OFFICE MEZZANINE	117 m ²
TOTAL GF	5,133 m ²

FIRST FLOOR

4.13	
WAREHOUSE	152 m ²
OFFICE MEZZANINE	49 m ²
4.14	
WAREHOUSE	136 m ²
OFFICE MEZZANINE	44 m ²

4.15	
WAREHOUSE	136 m ²
OFFICE MEZZANINE	44 m ²
4.16	
WAREHOUSE	136 m ²
OFFICE MEZZANINE	44 m ²
4.17	
WAREHOUSE	136 m ²
OFFICE MEZZANINE	44 m ²
4.18	
WAREHOUSE	140 m ²
OFFICE MEZZANINE	56 m ²
4.19	
WAREHOUSE	140 m ²
OFFICE MEZZANINE	42 m ²
4.20	
WAREHOUSE	140 m ²
OFFICE MEZZANINE	42 m ²
4.21	
WAREHOUSE	140 m ²
OFFICE MEZZANINE	42 m ²
4.22	
WAREHOUSE	194 m ²
OFFICE MEZZANINE	55 m ²
4.23	
WAREHOUSE	194 m ²
OFFICE MEZZANINE	55 m ²
4.24	
WAREHOUSE	140 m ²
OFFICE MEZZANINE	42 m ²

4.25	
WAREHOUSE	140 m ²
OFFICE MEZZANINE	42 m ²
4.26	
WAREHOUSE	140 m ²
OFFICE MEZZANINE	42 m ²
4.27	
WAREHOUSE	140 m ²
OFFICE MEZZANINE	56 m ²
4.28	
WAREHOUSE	136 m ²
OFFICE MEZZANINE	43 m ²
4.29	
WAREHOUSE	136 m ²
OFFICE MEZZANINE	43 m ²
4.30	
WAREHOUSE	136 m ²
OFFICE MEZZANINE	43 m ²
4.31	
WAREHOUSE	136 m ²
OFFICE MEZZANINE	43 m ²
4.32	
WAREHOUSE	224 m ²
OFFICE MEZZANINE	66 m ²
TOTAL FF	3,909 m ²
TOTAL GFA	9,042 m ²

METHOD OF MEASUREMENT- GFA

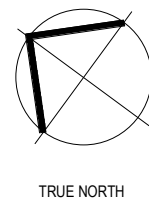
AS PER THE NSW LEGISLATION DEFINITION

GROSS FLOOR AREA (GFA) MEANS THE SUM OF THE FLOOR AREA OF EACH FLOOR OF A BUILDING MEASURED FROM THE INTERNAL FACE OF EXTERNAL WALLS, OR FROM THE INTERNAL FACE OF WALLS SEPARATING THE BUILDING FROM ANY OTHER BUILDING, MEASURED AT A HEIGHT OF 1.4 METRES ABOVE THE FLOOR, AND INCLUDES:

- (A) THE AREA OF A MEZZANINE, AND
- (B) HABITABLE ROOMS IN A BASEMENT OR AN ATTIC, AND
- (C) ANY SHOP, AUDITORIUM, CINEMA, AND THE LIKE, IN A BASEMENT OR ATTIC, BUT EXCLUDES:
- (D) ANY AREA FOR COMMON VERTICAL CIRCULATION, SUCH AS LIFTS AND STAIRS, AND
- (E) ANY BASEMENT:
- (F) STORAGE, AND
- (G) VEHICULAR ACCESS, LOADING AREAS, GARBAGE AND SERVICES, AND
- (H) PLANT ROOMS, LIFT TOWERS AND OTHER AREAS USED EXCLUSIVELY FOR MECHANICAL SERVICES OR DUCTING, AND
- (I) CAR PARKING TO MEET ANY REQUIREMENTS OF THE CONSENT AUTHORITY (INCLUDING ACCESS TO THAT CAR PARKING), AND
- (J) ANY SPACE USED FOR THE LOADING OR UNLOADING OF GOODS (INCLUDING ACCESS TO IT), AND
- (K) TERRACES AND BALCONIES WITH OUTER WALLS LESS THAN 1.4 METRES HIGH, AND
- (L) VOIDS ABOVE A FLOOR AT THE LEVEL OF A STOREY OR STOREY ABOVE.

PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
BUILDING 4
AREA PLAN (GFA)



CLIENT:

Aliro

DATE: SEPTEMBER, 2022
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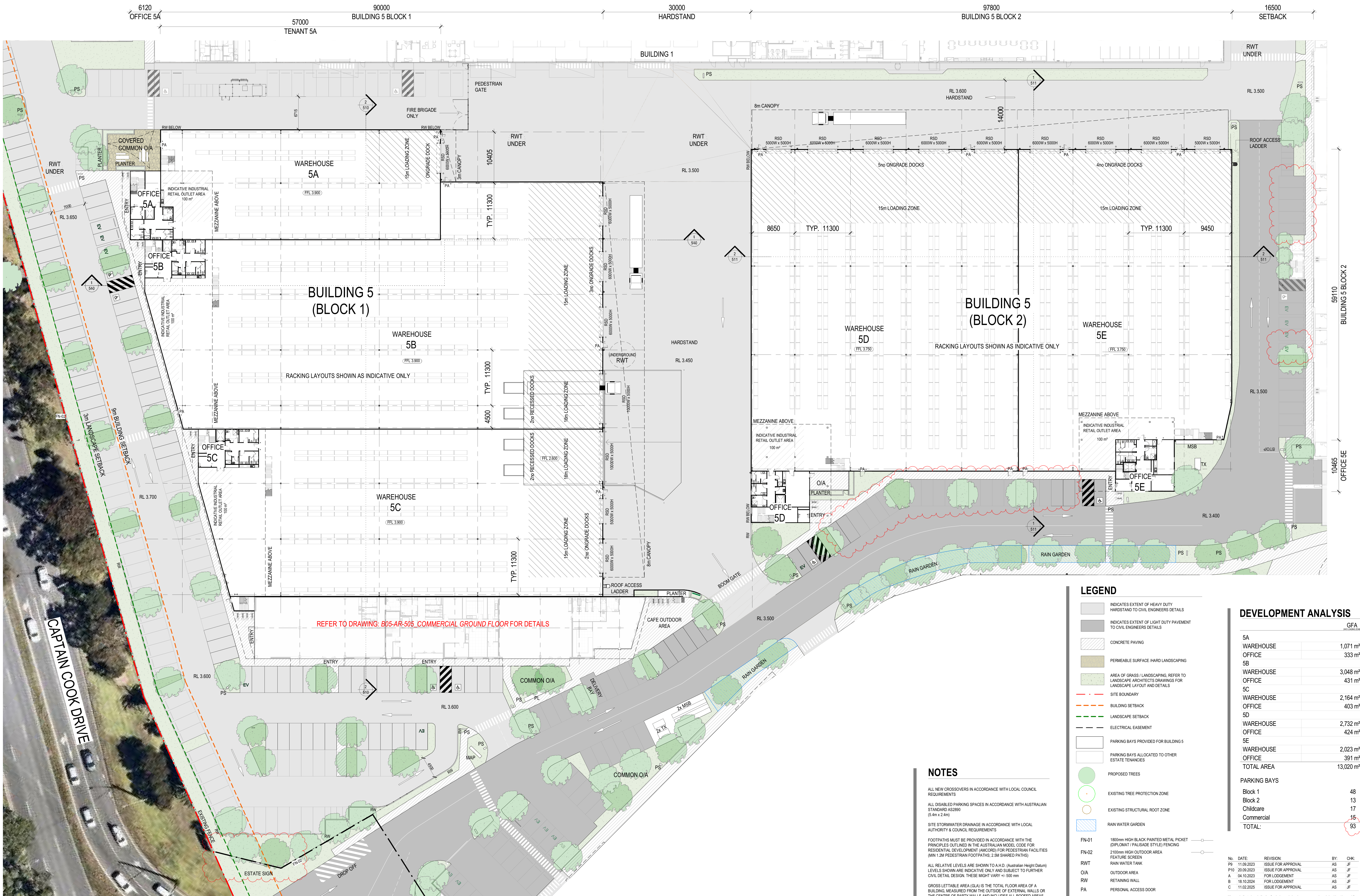
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REVISION:	B

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No.	DATE	REVISION	BY	CHK
P2	23.08.2023	90% DA ISSUE	AS	JF
P3	11.09.2023	ISSUE FOR APPROVAL	AS	JF
A	27.09.2023	FOR LODGEMENT	AS	JF
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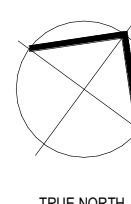
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PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
BUILDING 5C
SITE PLAN



CLIENT:

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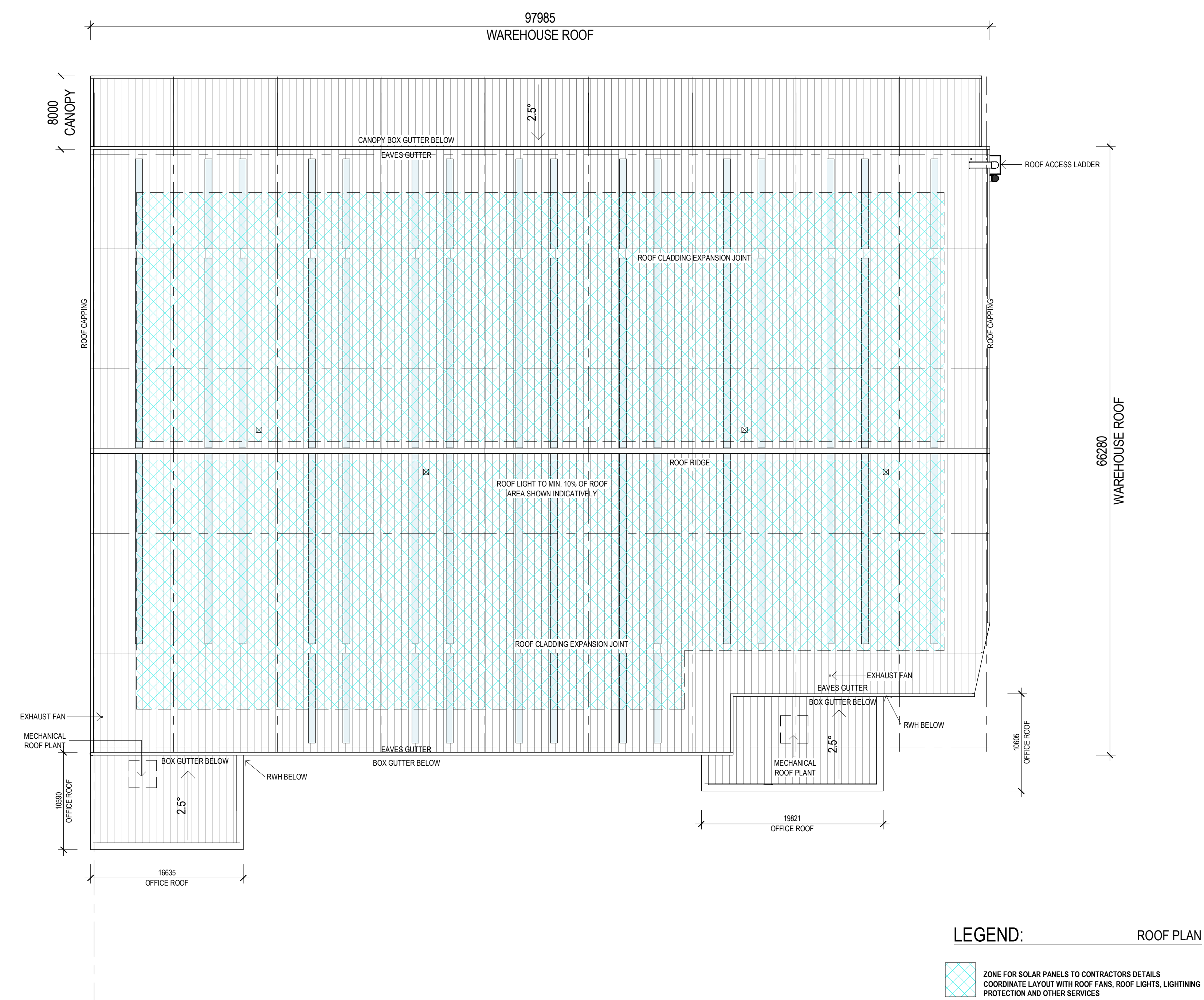
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SCALE: 1:300 @ B1
SCALE:


JOB NO:
21366

DRAWING NO:
500

REVISION:
C

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 ZONE FOR SOLAR PANELS TO CONTRACTORS DETAILS
COORDINATE LAYOUT WITH ROOF FANS, ROOF LIGHTS, LIGHTNING
PROTECTION AND OTHER SERVICES

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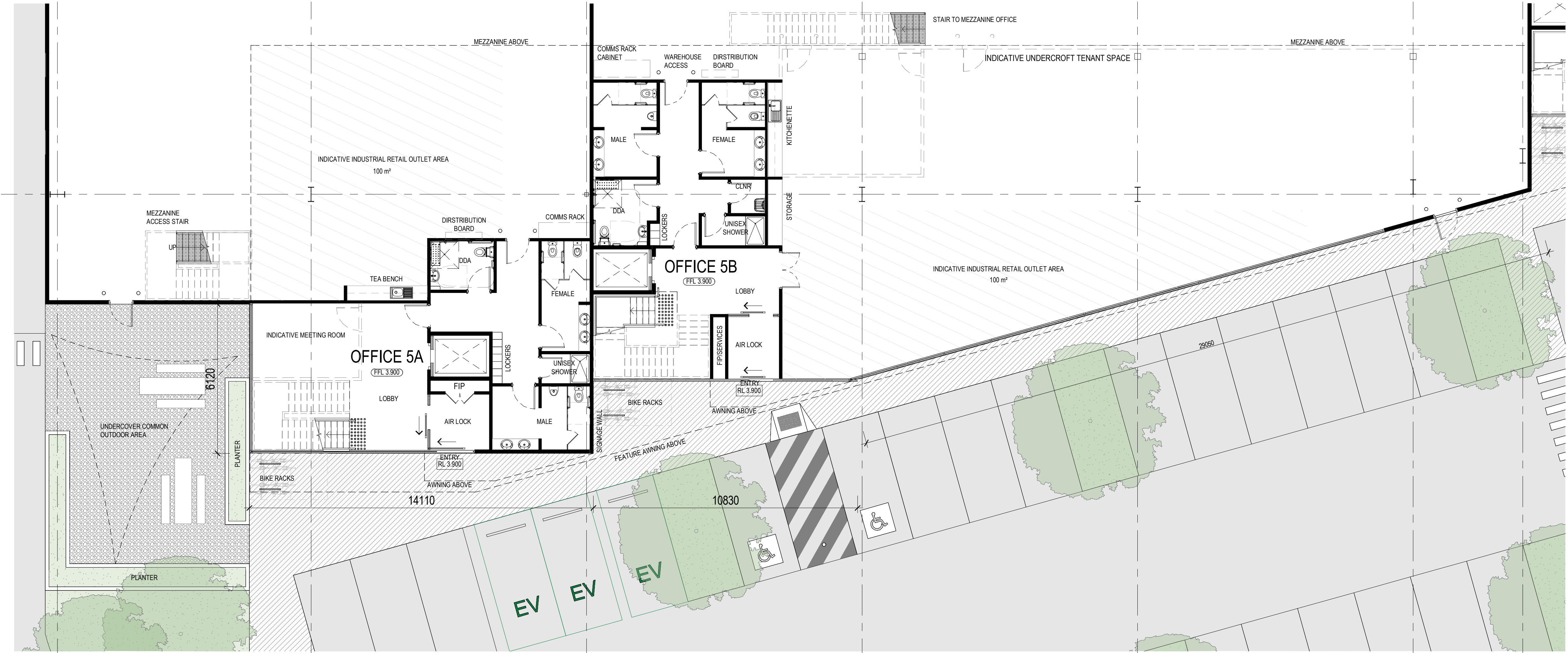
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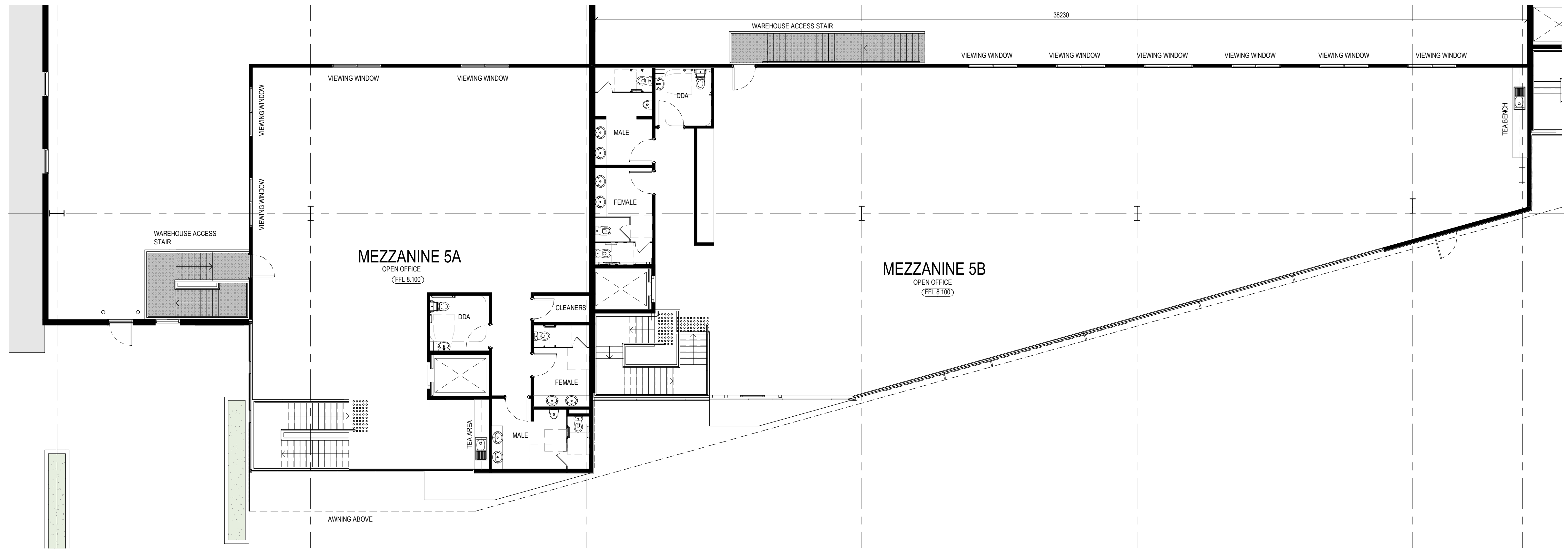
JOB NO: 21366

DRAWING NO: 501

REVISION: A



OFFICE 5A, 5B GROUND FLOOR
SCALE: 1 : 100



OFFICE 5A, 5B MEZZANINE
SCALE: 1 : 100

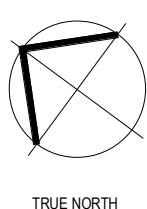
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P2	21.07.2023	75% DA ISSUE	AS	JF
P3	01.08.2023	90% DA ISSUE	PR	JF
P4	20.08.2023	ISSUE FOR APPROVAL	AS	JF
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PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
BUILDING 5C
OFFICE PLANS BLOCK 1



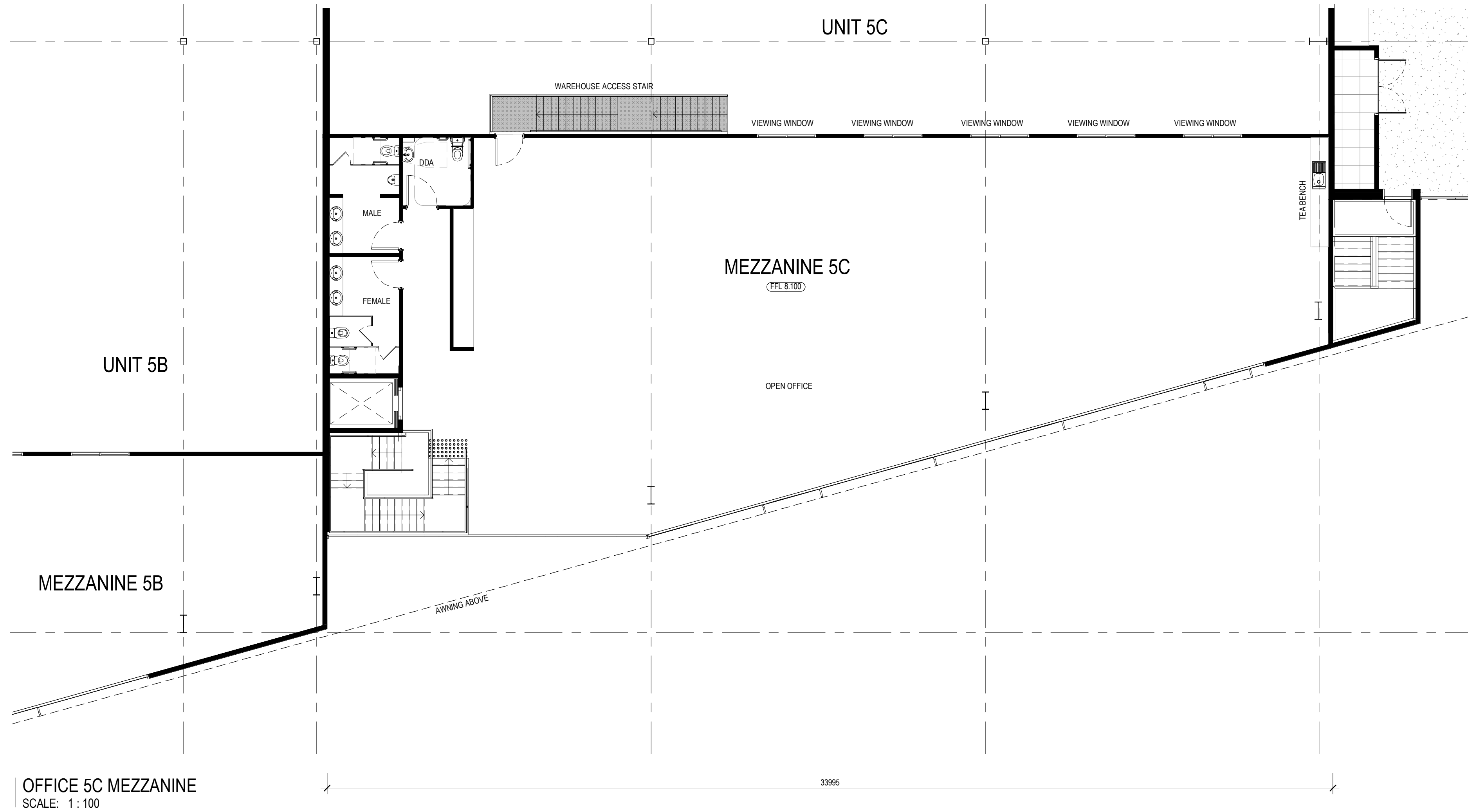
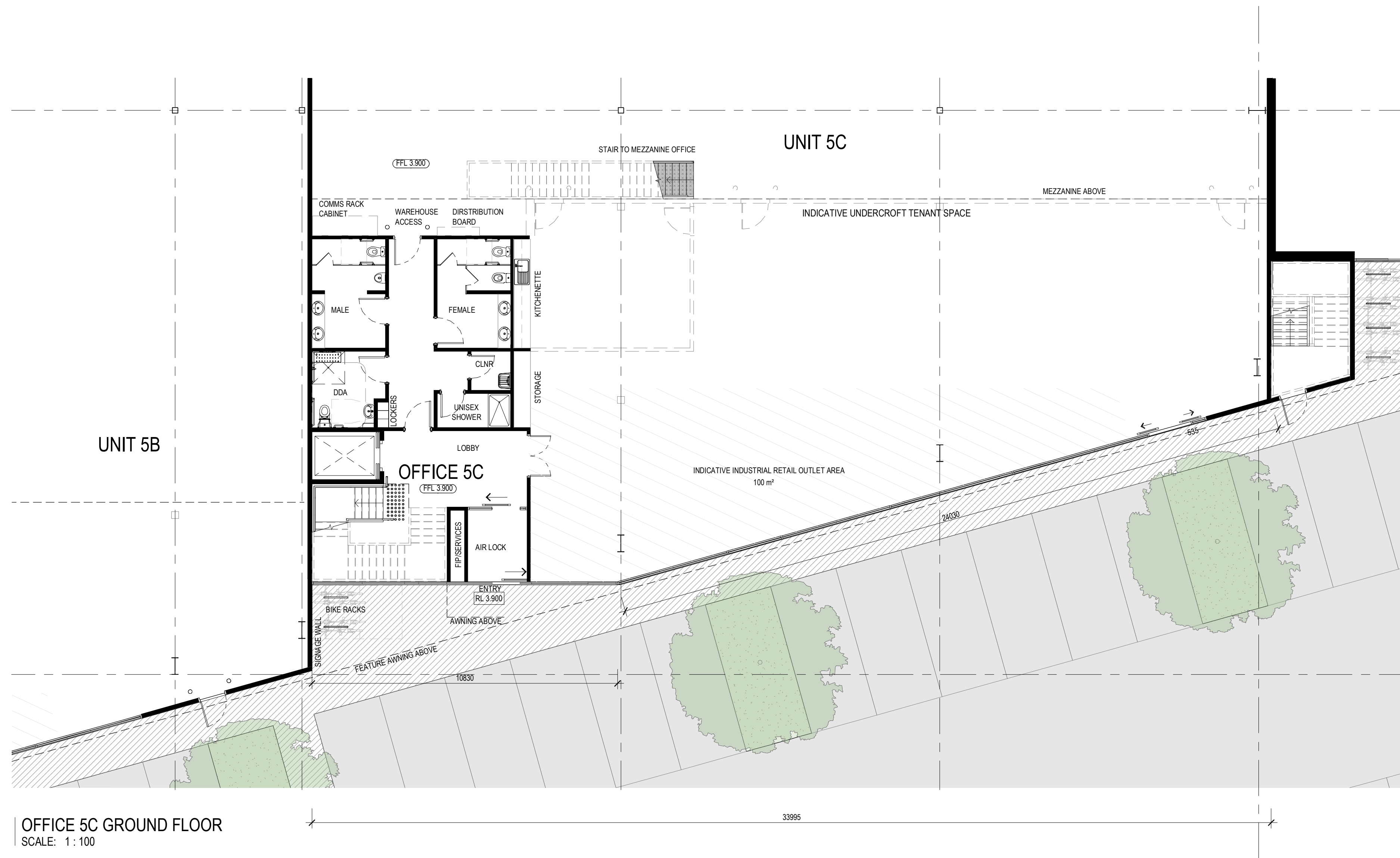
CLIENT:

Aliro

DATE: FEBRUARY, 2024
DRAWN BY: AS
SCALE: 1 : 100 @ B1
SCALE:

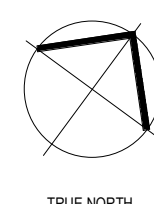
JOB NO.	21366
DRAWING NO.	502
REVISION	A

**watson
young**



PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
BUILDING 5C
OFFICE PLANS BLOCK 1



CLIENT:
Aliro

DATE: FEBRUARY, 2024
DRAWN BY: AS
SCALE: 1 : 100 @ B1
SCALE:

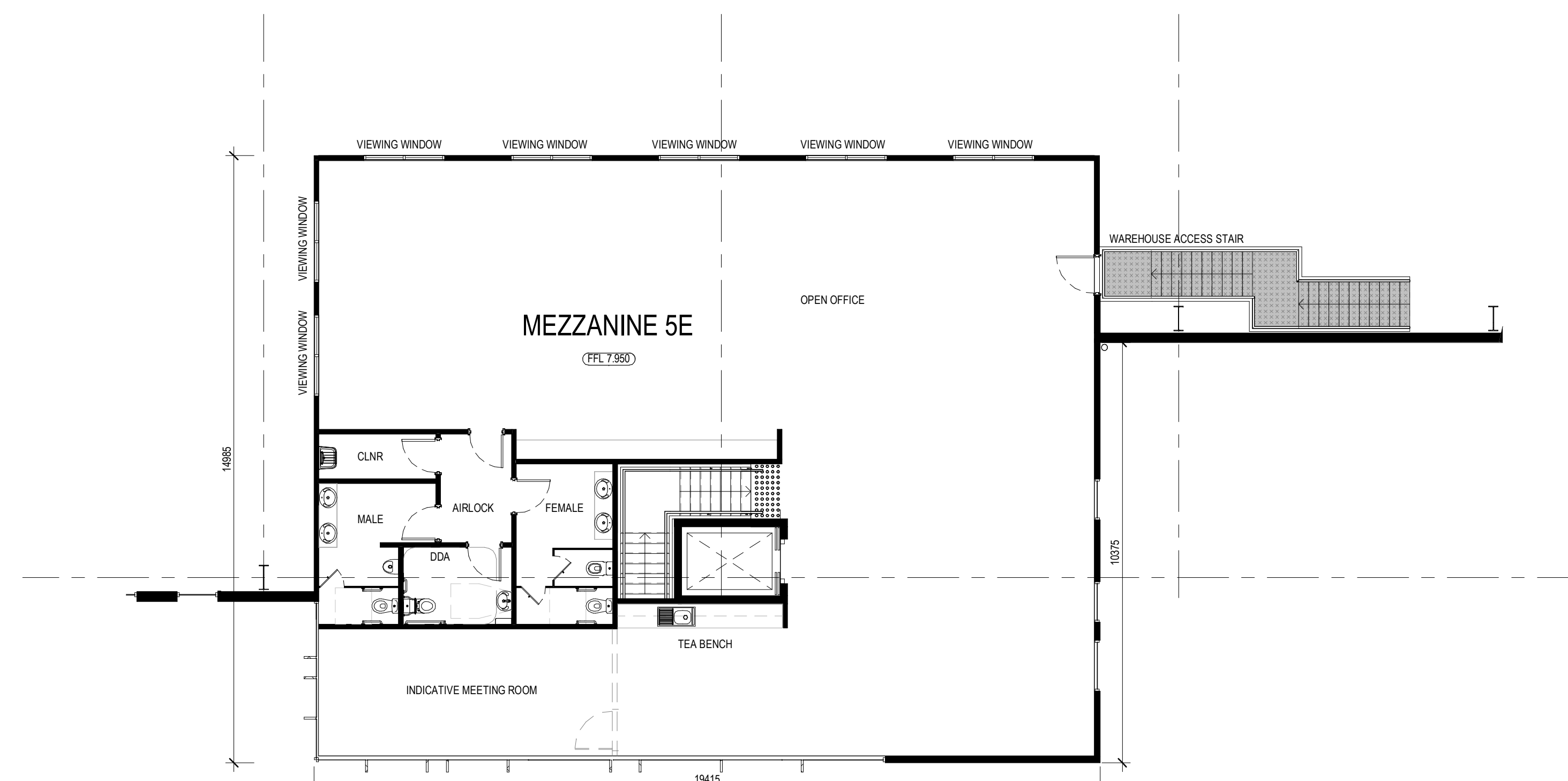
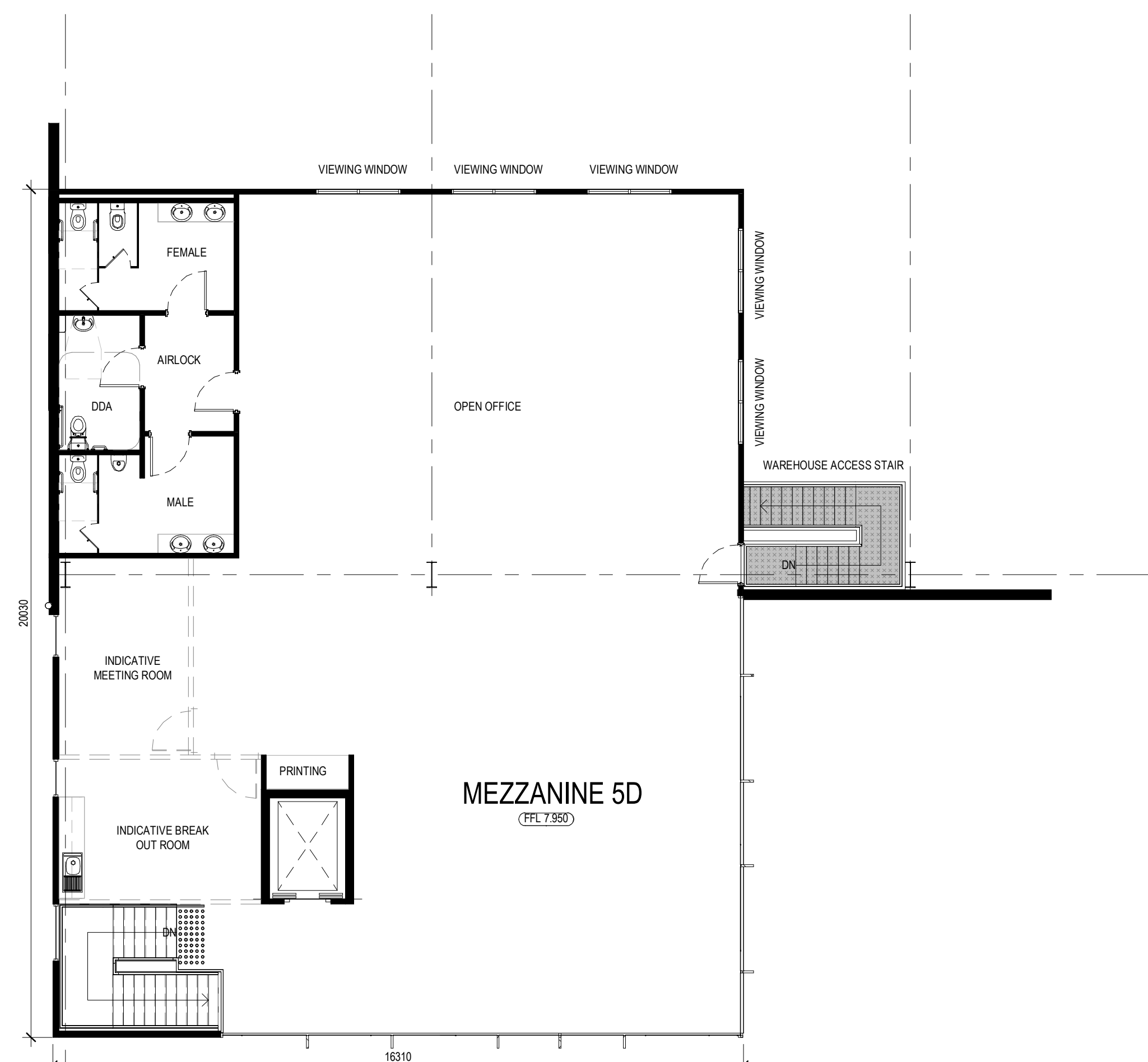
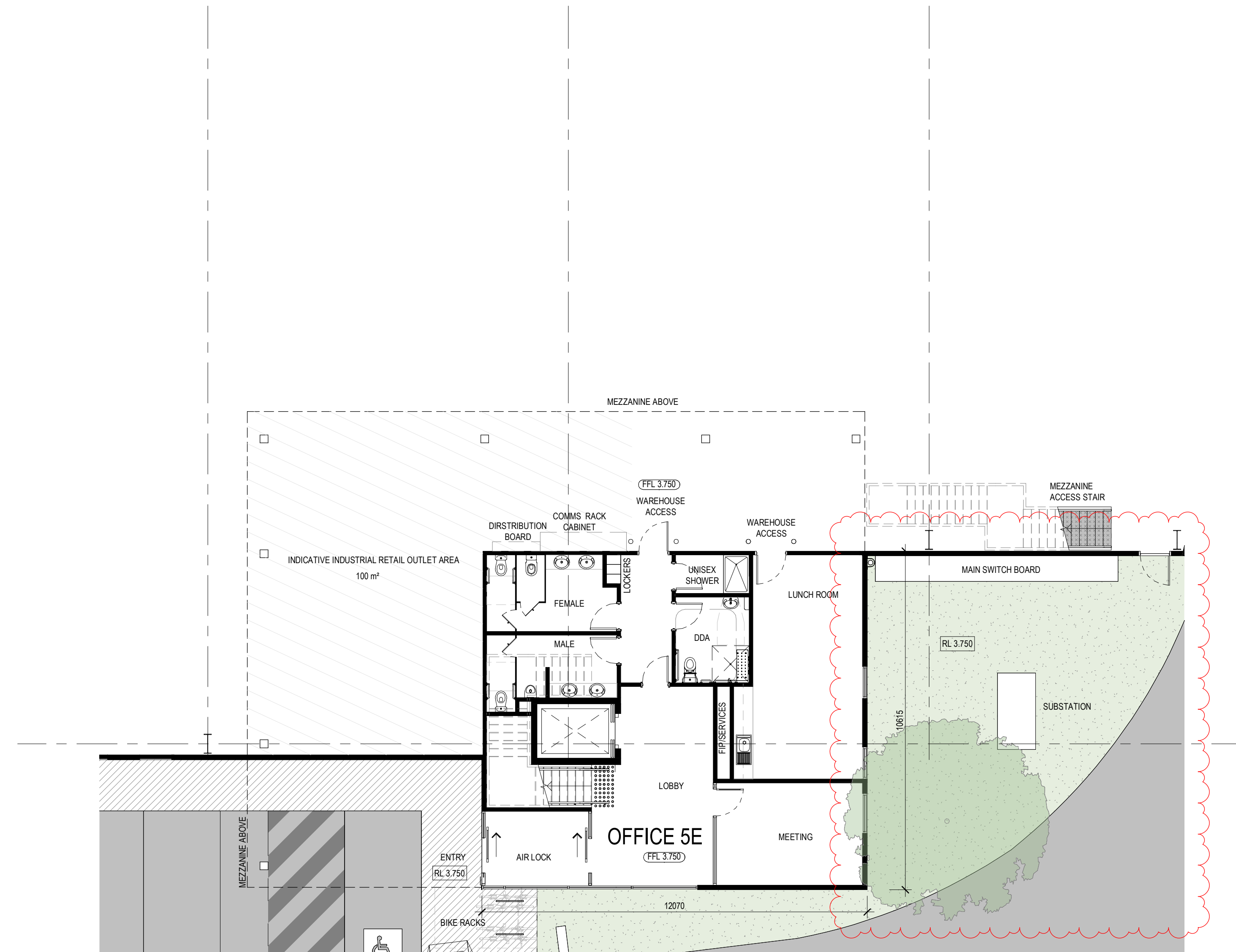
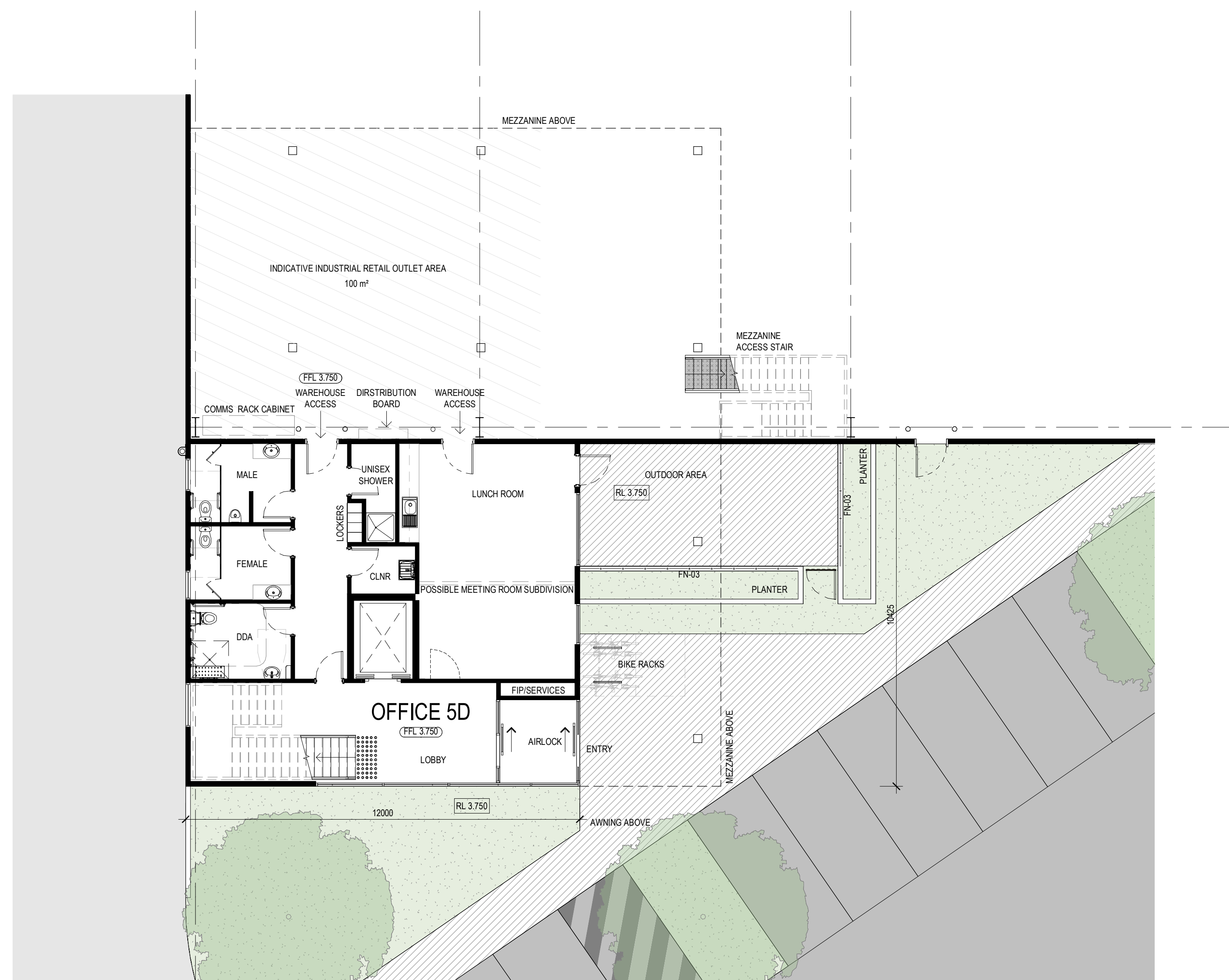
JOB NO.	21366
DRAWING NO.	503
REVISION:	A

watson young

No. DATE: REVISION: BY: CHK:
P1 25.07.2023 PRELIMINARY ISSUE AS JF
P2 01.09.2023 90% DA ISSUE PR JF
P3 20.09.2023 ISSUE FOR APPROVAL AS JF
A 04.10.2023 FOR LODGEMENT AS JF

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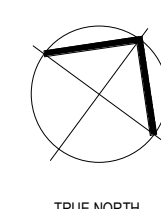
No.	DATE:	REVISION:	BY:	CHK:
P3	29.08.2023	90% DA ISSUE	AS	JF
P4	01.09.2023	90% DA ISSUE	PR	JF
P5	20.09.2023	ISSUE FOR APPROVAL	AS	JF
A	04.10.2023	FOR LODGEMENT	AS	JF
B	18.10.2024	FOR LODGEMENT	AS	JF

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PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
BUILDING 5C
OFFICE PLANS BLOCK 2



CLIENT:

Aliro 

DATE: FEBRUARY, 2024
DRAWN BY: AS
SCALE: 1 : 100 @ B1
SCALE:

JOB NO: 21366

DRAWING NO: 504

REVISION: B

**watson
young**

NOTES

ALL NEW CROSSOVERS IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS

ALL DISABLED PARKING SPACES IN ACCORDANCE WITH AUSTRALIAN STANDARD AS2890 (5.4m x 2.4m)

SITE STORMWATER DRAINAGE IN ACCORDANCE WITH LOCAL AUTHORITY & COUNCIL REQUIREMENTS

FOOTPATHS MUST BE PROVIDED IN ACCORDANCE WITH THE PRINCIPLES OUTLINED IN THE AUSTRALIAN MODEL CODE FOR RESIDENTIAL DEVELOPMENT (AMCORD) FOR PEDESTRIAN FACILITIES (MIN 1.2M PEDESTRIAN FOOTPATHS; 2.3M SHARED PATHS)

ALL RELATIVE LEVELS ARE SHOWN TO A.M.D. (Australian High Datum) LEVELS SHOWN ARE INDICATIVE ONLY AND SUBJECT TO FURTHER CIVIL DETAIL DESIGN. THESE MIGHT VARY +/- 500 mm

GROSS LETTABLE AREA (GLA) IS THE TOTAL FLOOR AREA OF A BUILDING, MEASURED FROM THE OUTSIDE OF EXTERNAL WALLS OR THE CENTRE OF PARTY WALLS AND INCLUDES ALL ROOFED AREAS

GROSS FLOOR AREA (GFA) IS THE TOTAL FLOOR AREA OF A BUILDING, MEASURED FROM THE INSIDE OF EXTERNAL WALLS OR THE CENTRE OF PARTY WALLS AND INCLUDES ALL ROOFED AREAS

LEGEND

- INDICATES EXTENT OF HEAVY DUTY HARDSTAND TO CIVIL ENGINEERS DETAILS
- INDICATES EXTENT OF LIGHT DUTY PAVEMENT TO CIVIL ENGINEERS DETAILS
- CONCRETE PAVING
- PERMEABLE SURFACE / HARD LANDSCAPING
- AREA OF GRASS / LANDSCAPING, REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR LANDSCAPE LAYOUT AND DETAILS
- SITE BOUNDARY
- BUILDING SETBACK
- LANDSCAPE SETBACK
- ELECTRICAL EASEMENT
- PARKING BAYS PROVIDED FOR BUILDING 5
- PARKING BAYS ALLOCATED TO OTHER ESTATE TENANCIES
- PROPOSED TREES
- EXISTING TREE PROTECTION ZONE
- EXISTING STRUCTURAL ROOT ZONE
- RAIN WATER GARDEN
- FN-01 1800mm HIGH BLACK PAINTED METAL PICKET (DIPLOMAT / PALISADE STYLE) FENCING
- FN-02 2100mm HIGH OUTDOOR AREA FEATURE SCREEN
- RWT RAIN WATER TANK
- O/A OUTDOOR AREA
- RW RETAINING WALL
- PA PERSONAL ACCESS DOOR
- PS PYLON SIGN
- PL PARCEL LOCKERS
- MSB MAIN SWITCH BOARD



COMMERCIAL GROUND FLOOR
SCALE: 1 : 100

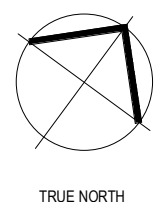
No.	DATE	REVISION	BY	CHK
P6	06.09.2023	90% DA ISSUE	IK	SC
P7	25.09.2023	ISSUE FOR APPROVAL	IK	SC
A	28.09.2023	FOR LODGEMENT	AS	JF
B	04.10.2024	FOR LODGEMENT	AS	JF
C	17.10.2024	FOR LODGEMENT	ST	JF

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PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
BUILDING 5C
COMMERCIAL GROUND FLOOR



CLIENT:

Aliro

DATE: FEBRUARY, 2024
DRAWN BY: IK
SCALE: 1:100 @ B1
SCALE:

JOB NO:
21366
DRAWING NO:
505
REVISION:
C

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young

NOTES

ALL NEW CROSSOVERS IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS

ALL DISABLED PARKING SPACES IN ACCORDANCE WITH AUSTRALIAN STANDARD AS2890 (5.4m x 2.4m)

SITE STORMWATER DRAINAGE IN ACCORDANCE WITH LOCAL AUTHORITY & COUNCIL REQUIREMENTS

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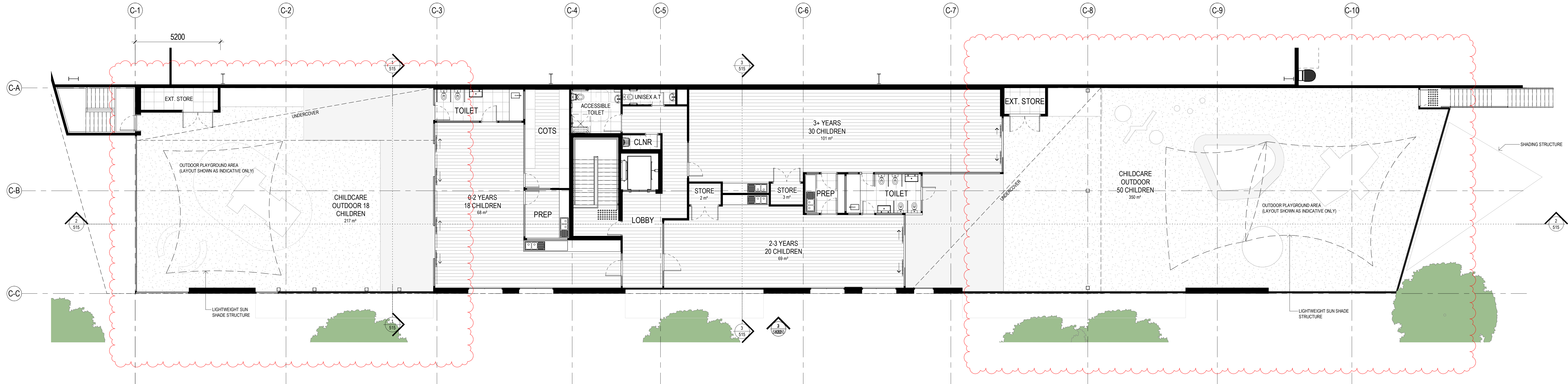
ALL RELATIVE LEVELS ARE SHOWN TO A.M.D. (Australian Height Datum) LEVELS SHOWN ARE INDICATIVE ONLY AND SUBJECT TO FURTHER CIVIL DETAIL DESIGN. THESE MIGHT VARY +/- 500 mm

GROSS LETTABLE AREA (GLA) IS THE TOTAL FLOOR AREA OF A BUILDING, MEASURED FROM THE OUTSIDE OF EXTERNAL WALLS OR THE CENTRE OF PARTY WALLS AND INCLUDES ALL ROOFED AREAS

GROSS FLOOR AREA (GFA) IS THE TOTAL FLOOR AREA OF A BUILDING, MEASURED FROM THE INSIDE OF EXTERNAL WALLS OR THE CENTRE OF PARTY WALLS AND INCLUDES ALL ROOFED AREAS

LEGEND

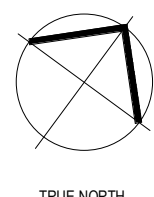
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- INDICATES EXTENT OF LIGHT DUTY PAVEMENT TO CIVIL ENGINEERS DETAILS
- CONCRETE PAVING
- PERMEABLE SURFACE HARD LANDSCAPING
- AREA OF GRASS / LANDSCAPING. REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR LANDSCAPE LAYOUT AND DETAILS
- SITE BOUNDARY
- BUILDING SETBACK
- LANDSCAPE SETBACK
- ELECTRICAL EASEMENT
- PARKING BAYS PROVIDED FOR BUILDING S
- PARKING BAYS ALLOCATED TO OTHER ESTATE TENANCIES
- PROPOSED TREES
- EXISTING TREE PROTECTION ZONE
- EXISTING STRUCTURAL ROOT ZONE
- RAIN WATER GARDEN
- FN-01 1800mm HIGH BLACK PAINTED METAL PICKET (DIPLOMAT / PALISADE STYLE) FENCING
- FN-02 2100mm HIGH OUTDOOR AREA FEATURE SCREEN
- RWT RAIN WATER TANK
- O/A OUTDOOR AREA
- RW RETAINING WALL
- PA PERSONAL ACCESS DOOR
- PS PYLON SIGN
- PL PARCEL LOCKERS
- MSB MAIN SWITCH BOARD



COMMERCIAL FIRST FLOOR
SCALE: 1 : 100

PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
BUILDING 5C
COMMERCIAL FIRST FLOOR



CLIENT:

Aliro

DATE: FEBRUARY, 2024
DRAWN BY: IK
SCALE: 1:100 @ B1
SCALE:

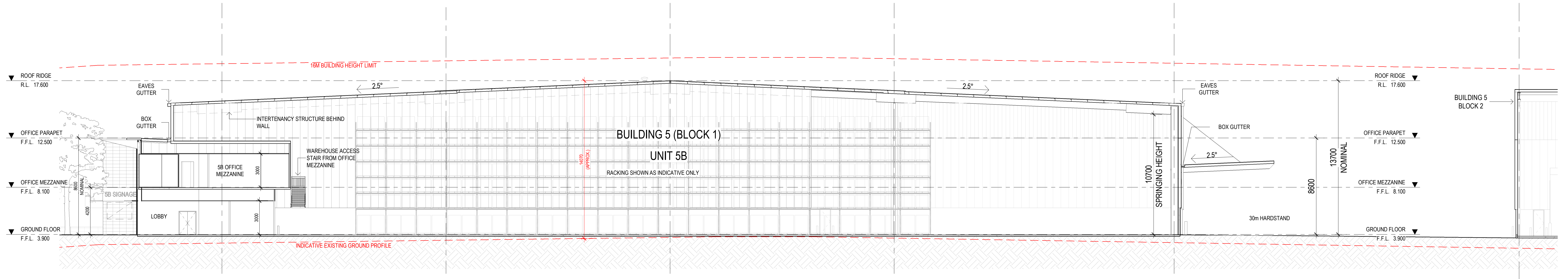
JOB NO:
21366
DRAWING NO:
506
REVISION:
B

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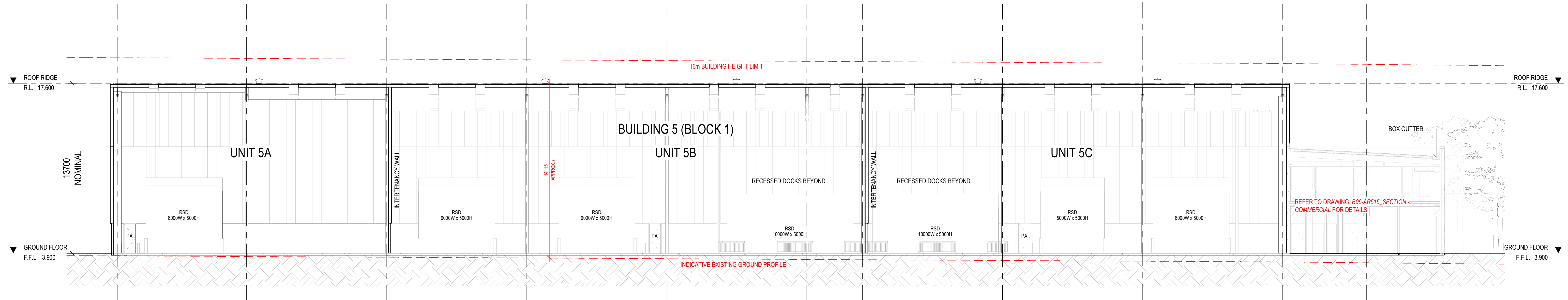
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P6	06.09.2023	90% DA ISSUE	IK	SC
P7	25.09.2023	ISSUE FOR APPROVAL	IK	SC
A	28.09.2023	FOR LODGEMENT	AS	JF
B	17.10.2024	FOR LODGEMENT	ST	JF

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CROSS SECTION No 1 - BLOCK 1
SCALE: 1 : 150



LONG SECTION No 2 - BLOCK 2
SCALE: 1 : 150

No.	DATE	REVISION	BY	CHK
P1	19.06.2023	PRELIMINARY ISSUE	AS	JF
P2	11.07.2023	50% DA ISSUE	JG	JF
P3	18.07.2023	75% DA ISSUE	AS	JF
P4	18.08.2023	ISSUE FOR APPROVAL	AS	JF
A	28.08.2023	FOR LODGEMENT	AS	JF

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PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
BUILDING 5C
SECTIONS - BLOCK 1

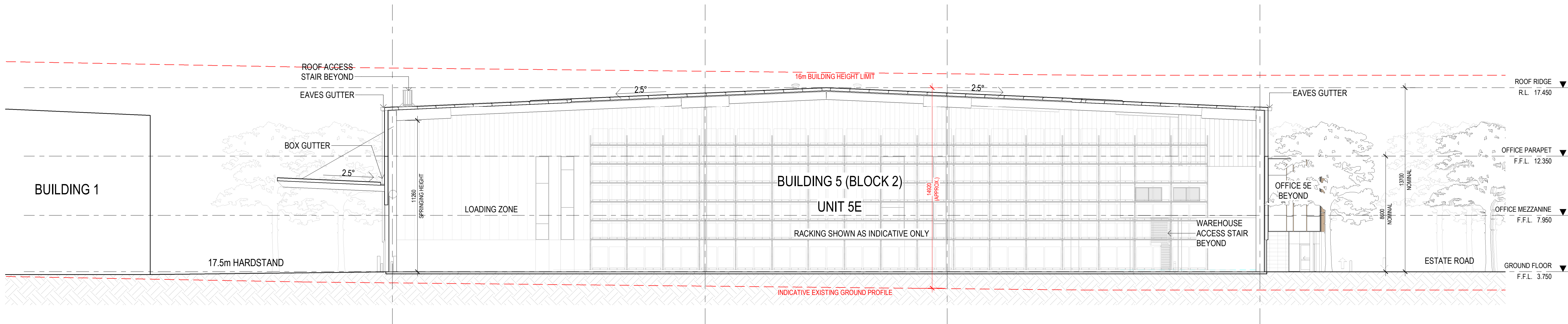
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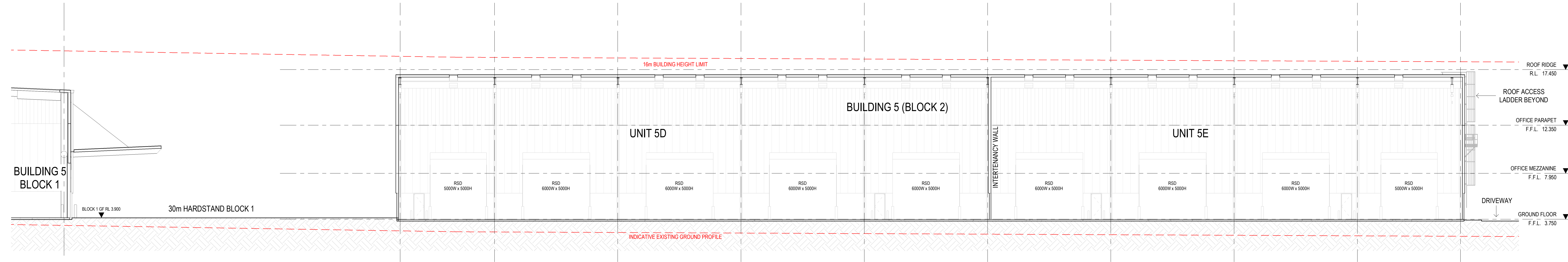
DATE: FEBRUARY, 2024
DRAWN BY: AS
SCALE: 1 : 150 @ B1

JOB NO:
21366
DRAWING NO:
510
REVISION:
A

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CROSS SECTION No 4 - BLOCK 2
SCALE: 1: 150



LONG SECTION No 3 - BLOCK 2
SCALE: 1: 150

PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
BUILDING 5C
SECTIONS - BLOCK 2

CLIENT:

Aliro

DATE: FEBRUARY, 2024
DRAWN BY: AS
SCALE: 1: 150 @ B1
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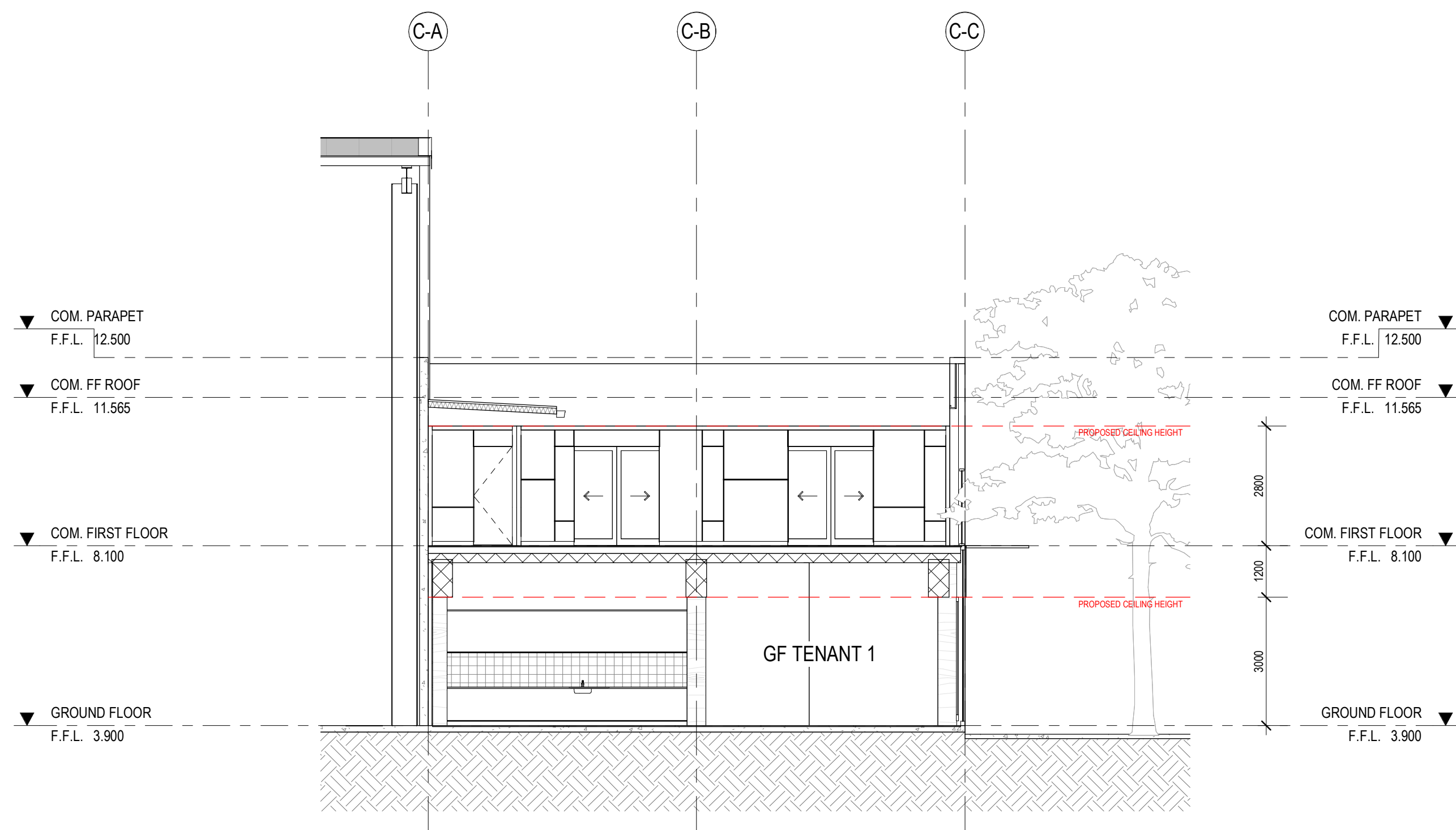
JOB NO:
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DRAWING NO:
511
REVISION:
A

No.	DATE	REVISION	BY	CHK
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P2	11.07.2023	50% DA ISSUE	JG	JF
P3	21.07.2023	75% DA ISSUE	AS	JF
P4	18.08.2023	ISSUE FOR APPROVAL	AS	JF
A	28.08.2023	FOR LODGEMENT	AS	JF

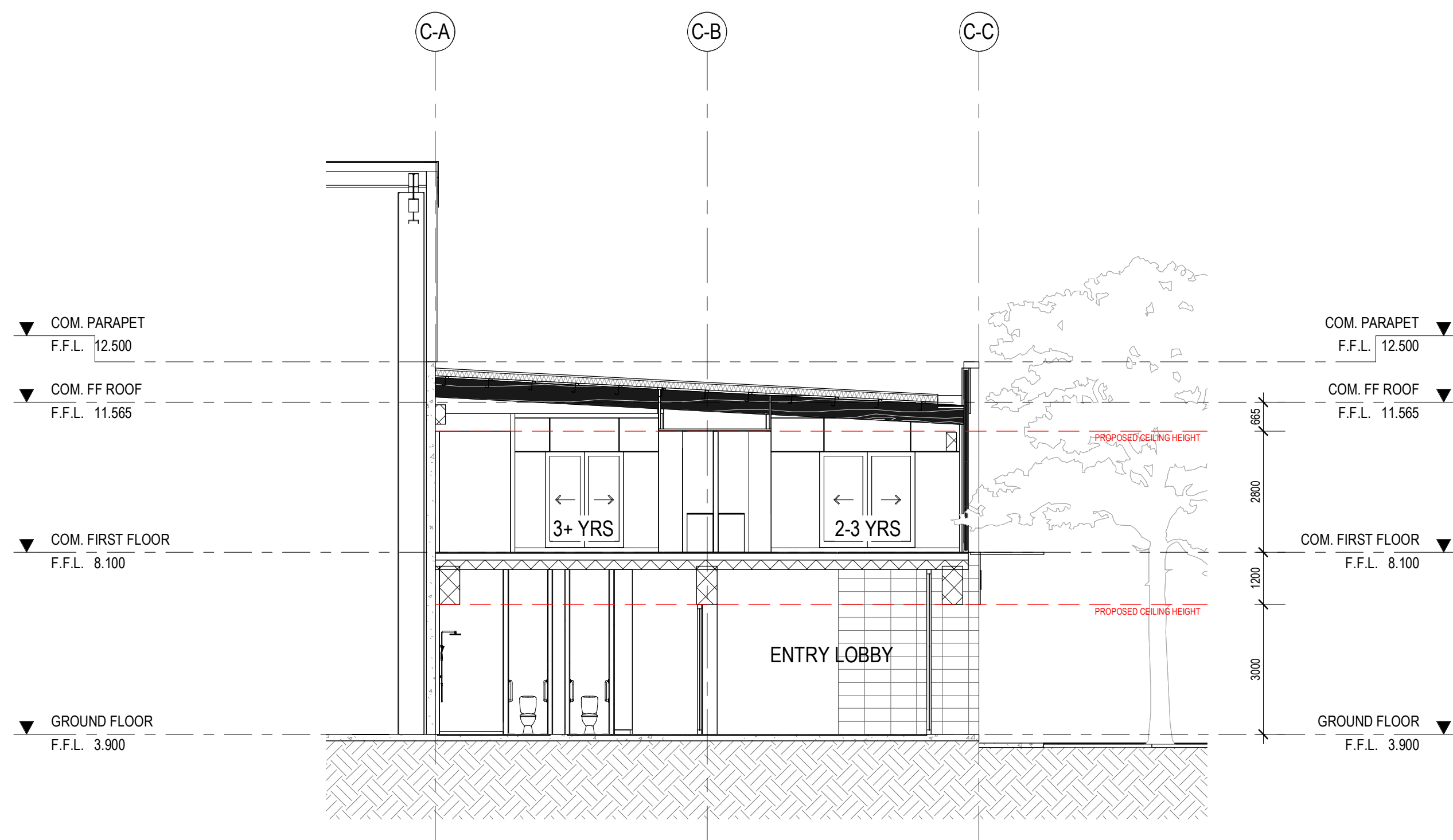
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COMMERCIAL - CROSS SECTION 1
SCALE: 1 : 100



COMMERCIAL - CROSS SECTION 2
SCALE: 1 : 100



COMMERCIAL - LONG SECTION
SCALE: 1 : 100

No.	DATE	REVISION	BY	CHK
P3	22.08.2023	PRELIMINARY ISSUE	IK	SC
P4	06.09.2023	90% DA ISSUE	IK	SC
P5	25.09.2023	ISSUE FOR APPROVAL	IK	SC
A	28.09.2023	FOR LODGEMENT	AS	JF
B	04.10.2024	FOR LODGEMENT	AS	JF

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PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

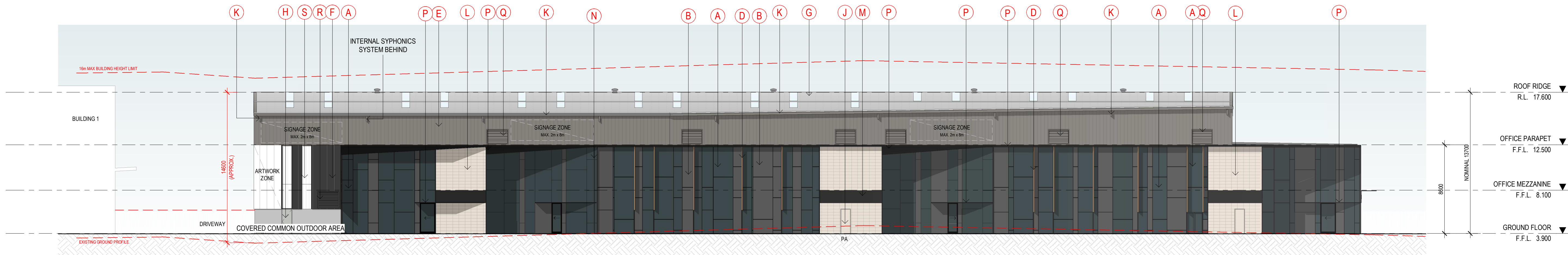
TITLE:
BUILDING 5C
SECTION - COMMERCIAL

CLIENT:
Aliro

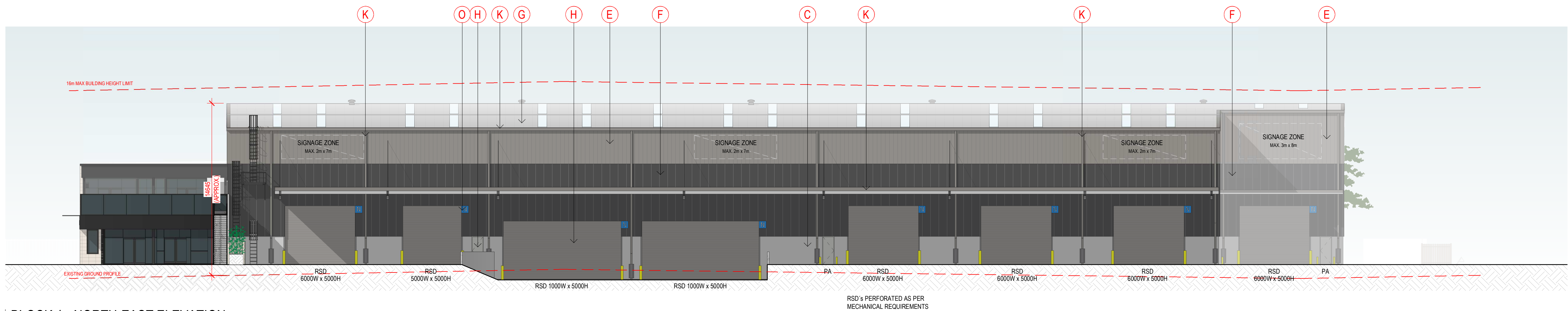
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JOB NO.	21366
DRAWING NO.	515
REVISION	B

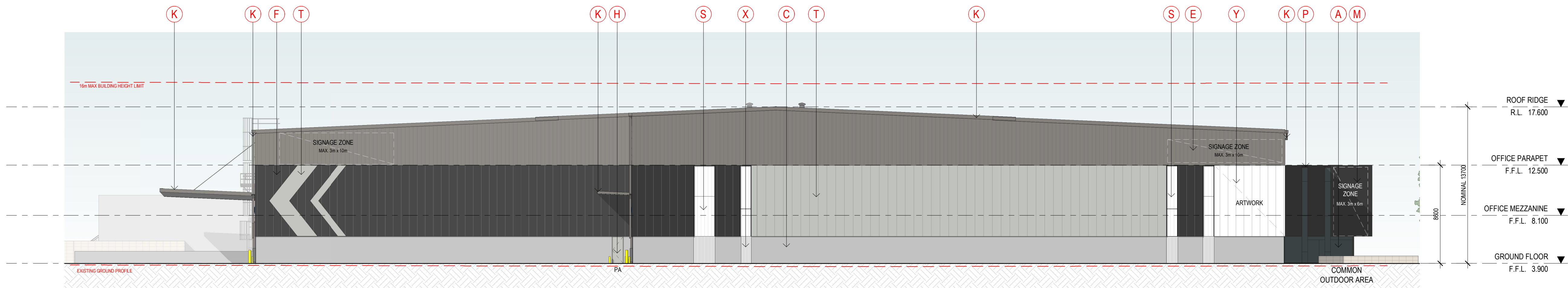
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BLOCK 1 - SOUTH-WEST ELEVATION
SCALE: 1 : 200



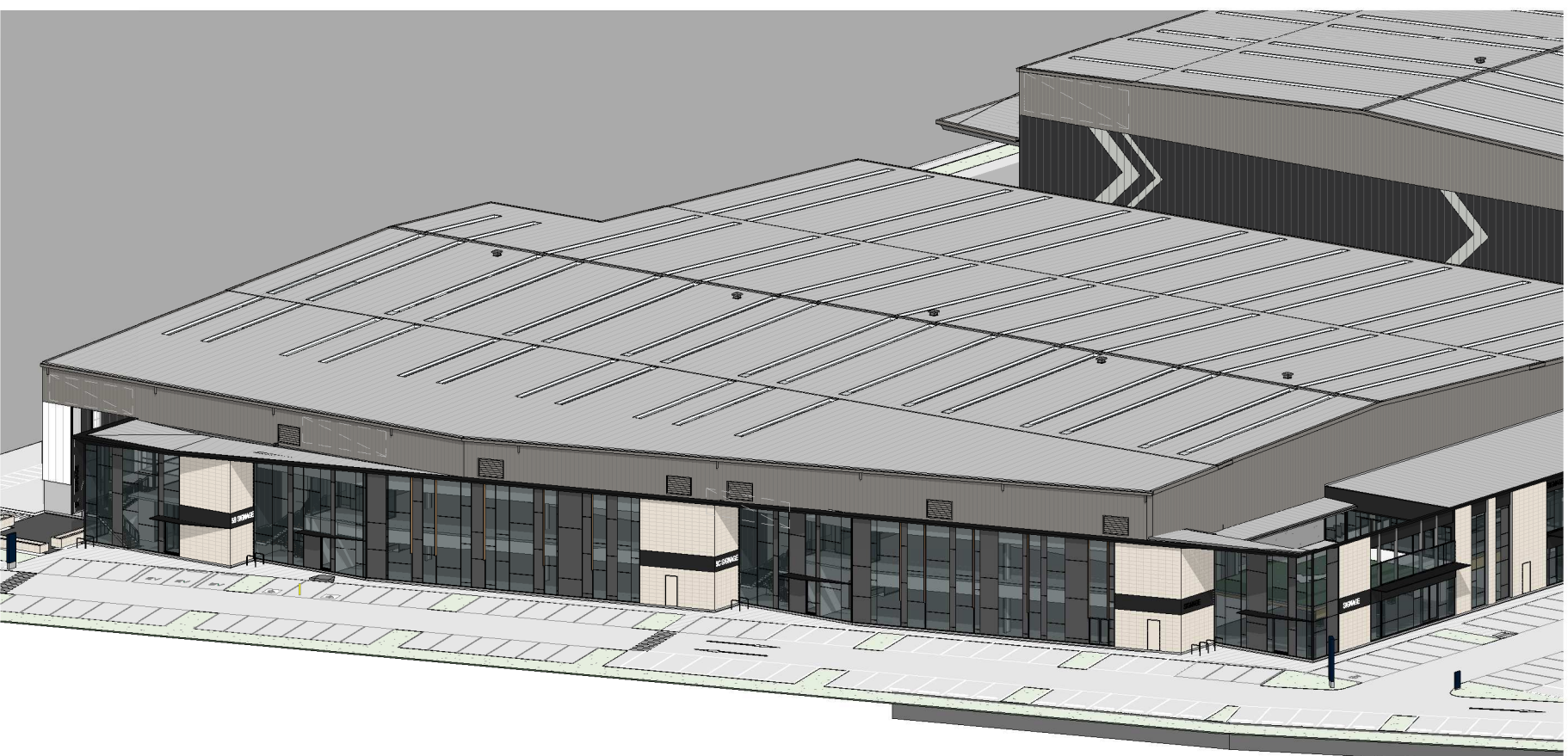
BLOCK 1 - NORTH-EAST ELEVATION
SCALE: 1 : 200



BLOCK 1 - NORTH-WEST ELEVATION
SCALE: 1 : 200



BLOCK 1 - NORTH-WEST PERSPECTIVE
SCALE:



BLOCK 1 - SOUTH-EAST PERSPECTIVE
SCALE:

EXTERNAL FINISHES

(A)	ALUMINIUM FRAMED GLAZING	REFLECTIVE GREY TINT GLAZING
(B)	ALUMINIUM FRAMED COLORBACK GLAZING	TINTED DARK GREY
(C)	PRECAST CONCRETE PANEL	UNPAINTED
(D)	FIXED ALUMINIUM VERTICAL BATTENS	TIMBER LOOK
(E)	METAL WALL CLADDING	WALLABY
(F)	METAL WALL CLADDING	MONUMENT
(G)	ROOF CLADDING	ZINCALUME
(H)	ROLLER SHUTTER DOOR CLADDING / PA DOOR	COLORBOND SHALE GREY
(J)	POWDER COATED METAL CLADDED DOOR	VARIES
(K)	DOWNPIPES / CAPPINGS / FASCIAS	COLORBOND WALLABY
(L)	BRICK STACK BOND CLADDING OR SIMILAR	LIGHT GREY / LIGHT BROWN
(M)	ALUMINIUM SIGN, SIDE-LIT	VARIES
(N)	POWDER COATED WINDOW FRAMES	BLACK
(O)	DOCK IDENTIFICATION PLATE	VARIES
(P)	FEATURE ALUMINIUM FRAME	BLACK
(Q)	MECHANICAL LOUVRES	WALLABY
(R)	MECHANICAL LOUVRES	MONUMENT
(S)	ALUMINIUM FRAMED POLYCARBONATE PANEL	TRANSLUCENT / WHITE
(T)	METAL WALL CLADDING	SHALE GREY
(U)	OUTDOOR AREA FENCE	MODWOOD OR SIMILAR
(V)	STRUCTURAL COLUMN	BLACK
(X)	TEXTURED PRECAST CONCRETE PANEL RECESSED	UNPAINTED
(Z)	PRECAST CONCRETE PANEL, PAINTED	VARIES

PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
BUILDING 5C
ELEVATIONS - BLOCK 1

CLIENT:

Aliro A

DATE: FEBRUARY, 2024
DRAWN BY: JG
SCALE: 1 : 200 @ B1
SCALE:

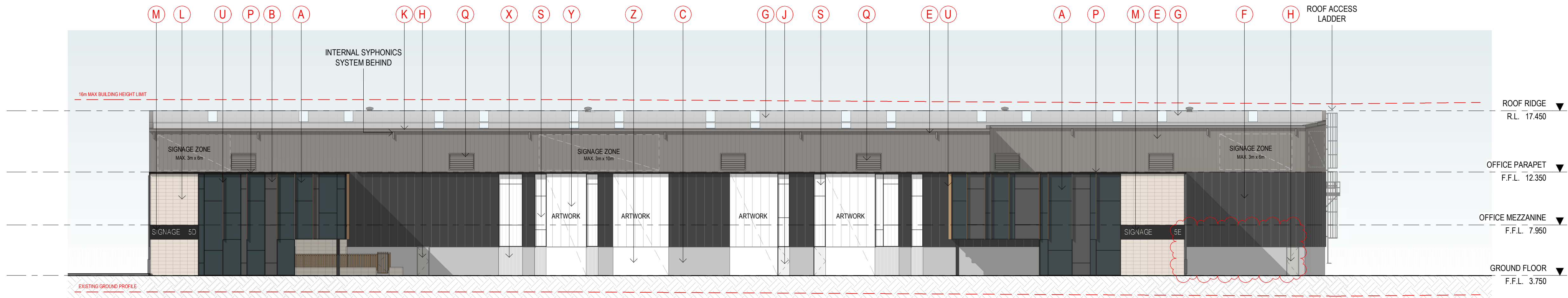
JOB NO:
21366
DRAWING NO:
520
REVISION:
A

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young

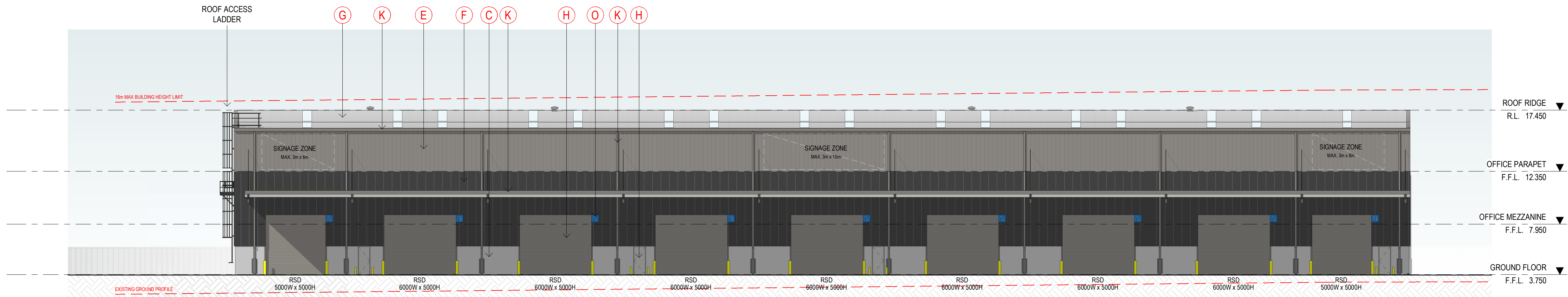
No. DATE: REVISION: BY: CHK:
P1 07.07.2023 PRELIMINARY ISSUE JG JF
P2 21.07.2023 75% DA ISSUE AS JF
P3 01.08.2023 90% DA ISSUE JPR JF
P4 06.08.2023 ISSUE FOR APPROVAL AS/PR JF
A 28.08.2023 FOR LODGEMENT AS JF

All areas indicated are indicative for design and planning purposes only and should not be used for any contractual reasons without verification by a licensed surveyor or further design development being completed.

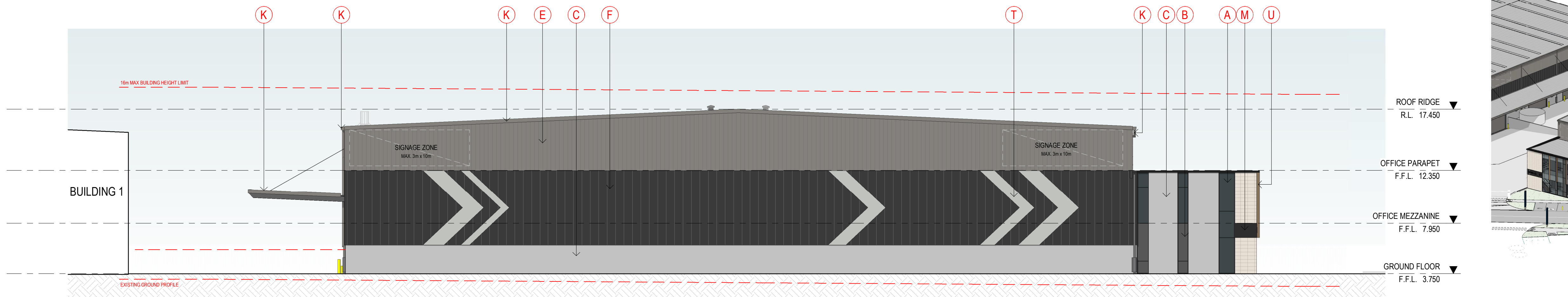
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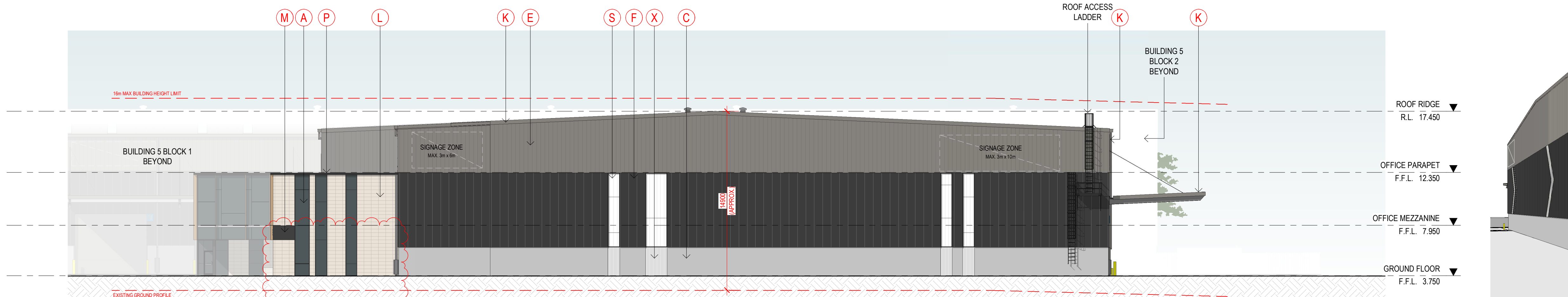
BLOCK 2 - SOUTH-EAST ELEVATION
SCALE: 1 : 200



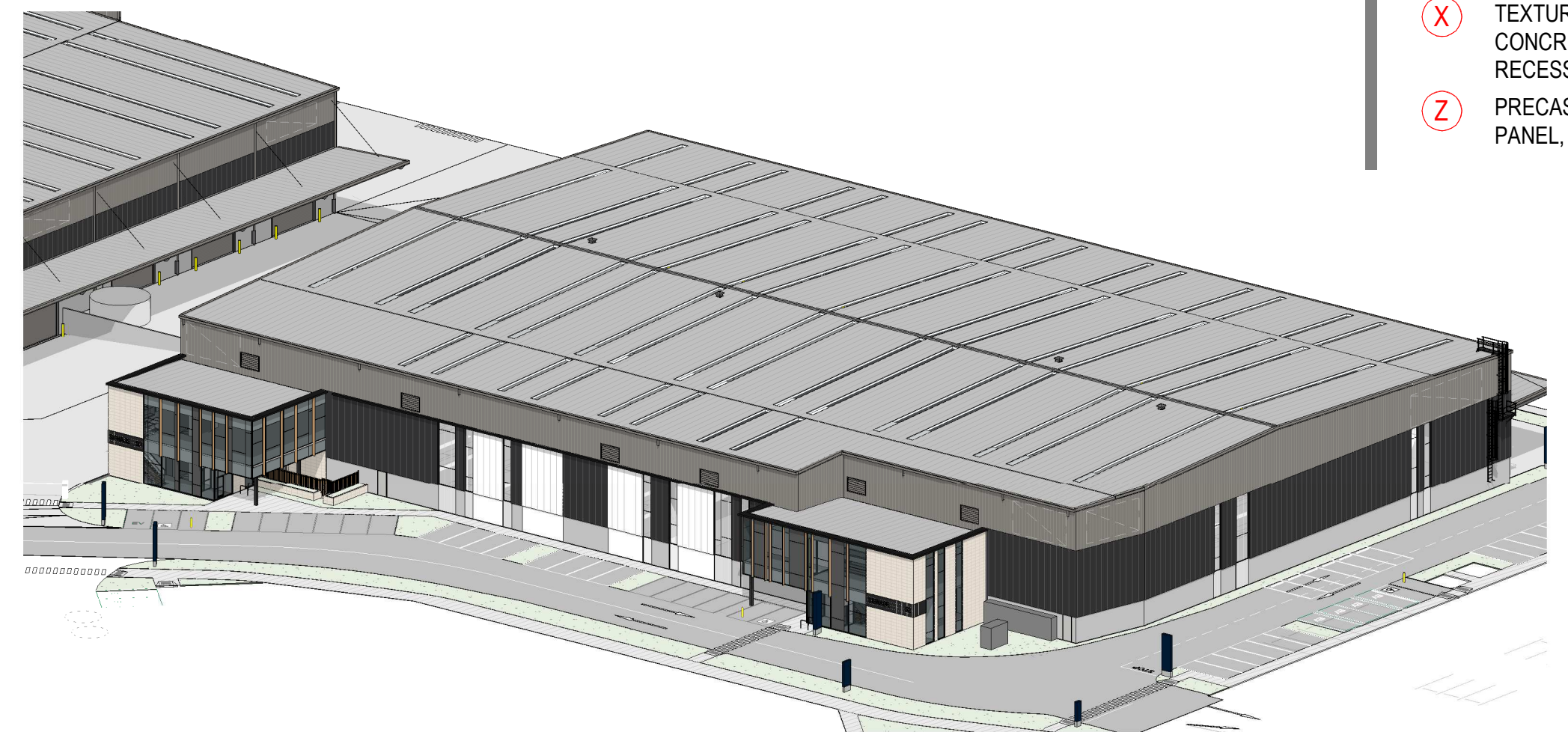
BLOCK 2 - NORTH-WEST ELEVATION
SCALE: 1 : 200



BLOCK 2 - SOUTH-WEST ELEVATION
SCALE: 1 : 200



BLOCK 2 - NORTH-EAST ELEVATION
SCALE: 1 : 200



BLOCK 2 - SOUTH-EAST PERSPECTIVE
SCALE: 1 : 200



BLOCK 2 - SOUTH-WEST PERSPECTIVE
SCALE: 1 : 200

EXTERNAL FINISHES

(A)	ALUMINIUM FRAMED GLAZING	REFLECTIVE GREY TINT GLAZING
(B)	ALUMINIUM FRAMED COLORBACK GLAZING	TINTED DARK GREY
(C)	PRECAST CONCRETE PANEL	UNPAINTED
(D)	FIXED ALUMINIUM VERTICAL BATTENS	TIMBER LOOK
(E)	METAL WALL CLADDING	WALLABY
(F)	METAL WALL CLADDING	MONUMENT
(G)	ROOF CLADDING	ZINCALUME
(H)	ROLLER SHUTTER DOOR CLADDING / PA DOOR	COLORBOND SHALE GREY
(J)	POWDER COATED METAL CLADDED DOOR	VARIES
(K)	DOWNPIPES / CAPPINGS / FASCIAS	COLORBOND WALLABY
(L)	BRICK STACK BOND CLADDING OR SIMILAR	LIGHT GREY / LIGHT BROWN
(M)	ALUMINIUM SIGN, SIDE-LIT	VARIES
(N)	POWDER COATED WINDOW FRAMES	BLACK
(O)	DOCK IDENTIFICATION PLATE	VARIES
(P)	FEATURE ALUMINIUM FRAME	BLACK
(Q)	MECHANICAL LOUVRES	WALLABY
(R)	MECHANICAL LOUVRES	MONUMENT
(S)	ALUMINIUM FRAMED POLYCARBONATE PANEL	TRANSLUCENT / WHITE
(T)	METAL WALL CLADDING	SHALE GREY
(U)	OUTDOOR AREA FENCE	MODWOOD OR SIMILAR
(V)	STRUCTURAL COLUMN	BLACK
(X)	TEXTURED PRECAST CONCRETE PANEL RECESSED	UNPAINTED
(Z)	PRECAST CONCRETE PANEL, PAINTED	VARIES

PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
BUILDING 5C
ELEVATIONS - BLOCK 2

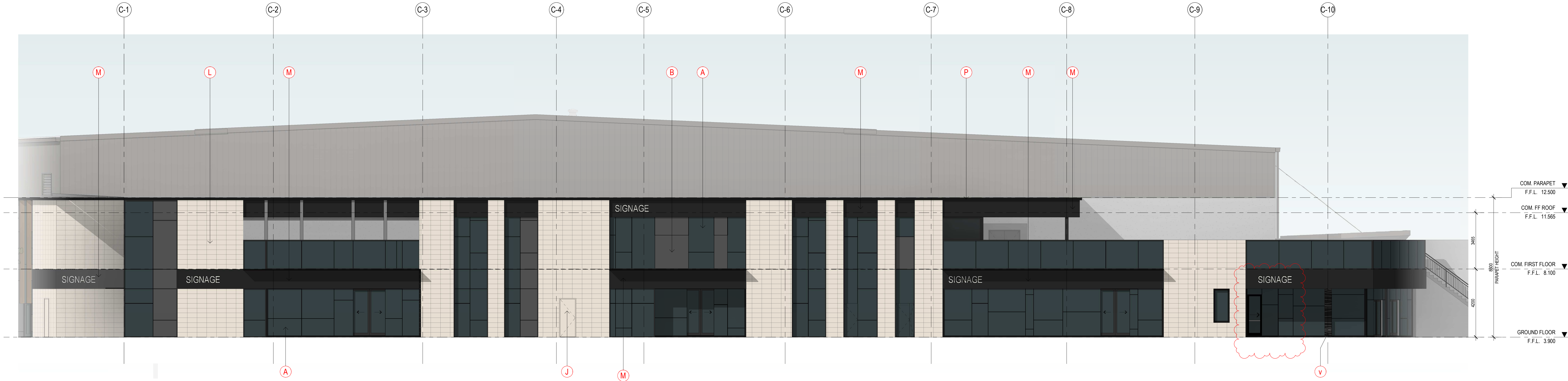
CLIENT:
Aliro

DATE: FEBRUARY, 2024
DRAWN BY: JG
SCALE: 1 : 200 @ B1
SCALE:

JOB NO:
21366
DRAWING NO:
521
REVISION:
B

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No. DATE: REVISION: BY: CHK:
P3 01.09.2023 90% DA ISSUE PR JF
P4 06.09.2023 ISSUE FOR APPROVAL ASPR JF
P5 20.09.2023 ISSUE FOR APPROVAL AS JF
A 28.09.2023 FOR LODGEMENT AS JF
B 18.10.2024 FOR LODGEMENT AS JF
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COMMERCIAL - WEST ELEVATION
SCALE: 1 : 100

NOTES

ALL NEW CROSSOVERS IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS
ALL DISABLED PARKING SPACES IN ACCORDANCE WITH AUSTRALIAN STANDARD AS2890 (5.4m x 2.4m)
SITE STORMWATER DRAINAGE IN ACCORDANCE WITH LOCAL AUTHORITY & COUNCIL REQUIREMENTS

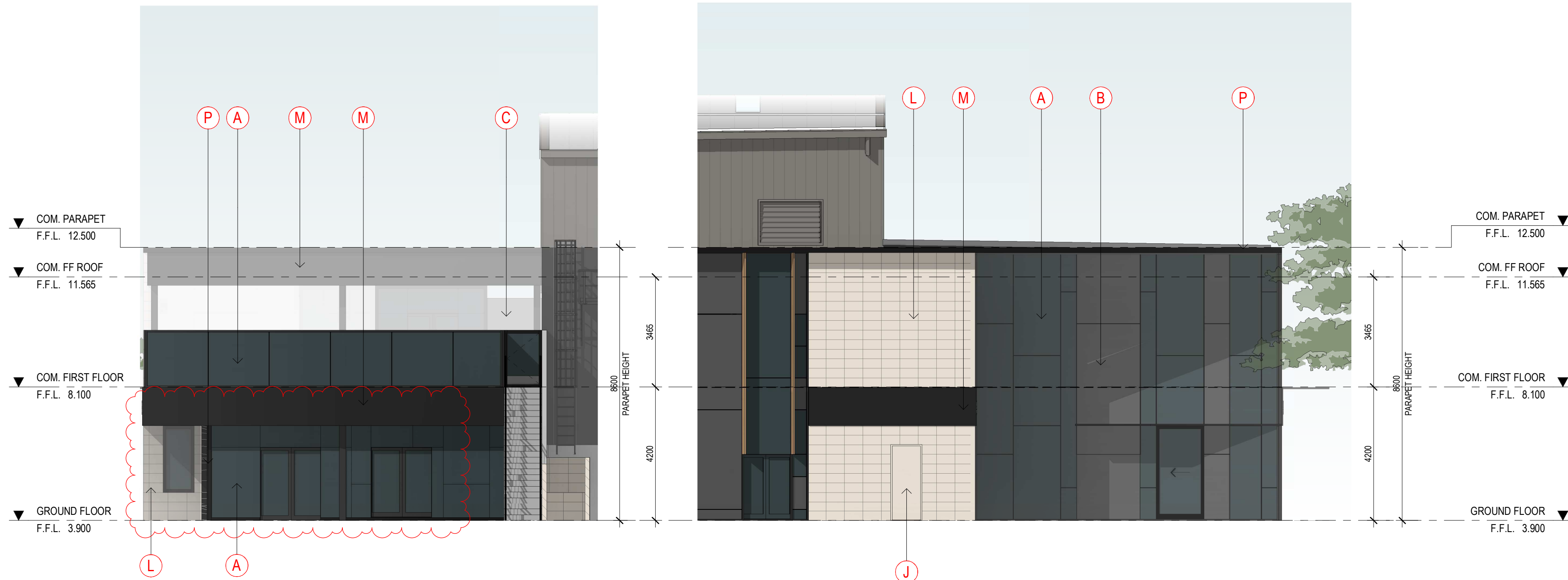
FOOTPATHS MUST BE PROVIDED IN ACCORDANCE WITH THE PRINCIPLES OUTLINED IN THE AUSTRALIAN MODEL CODE FOR RESIDENTIAL DEVELOPMENT (AMC(RD)) FOR PEDESTRIAN FACILITIES (MIN 1.2M PEDESTRIAN FOOTPATHS, 2.5M SHARED PATHS)

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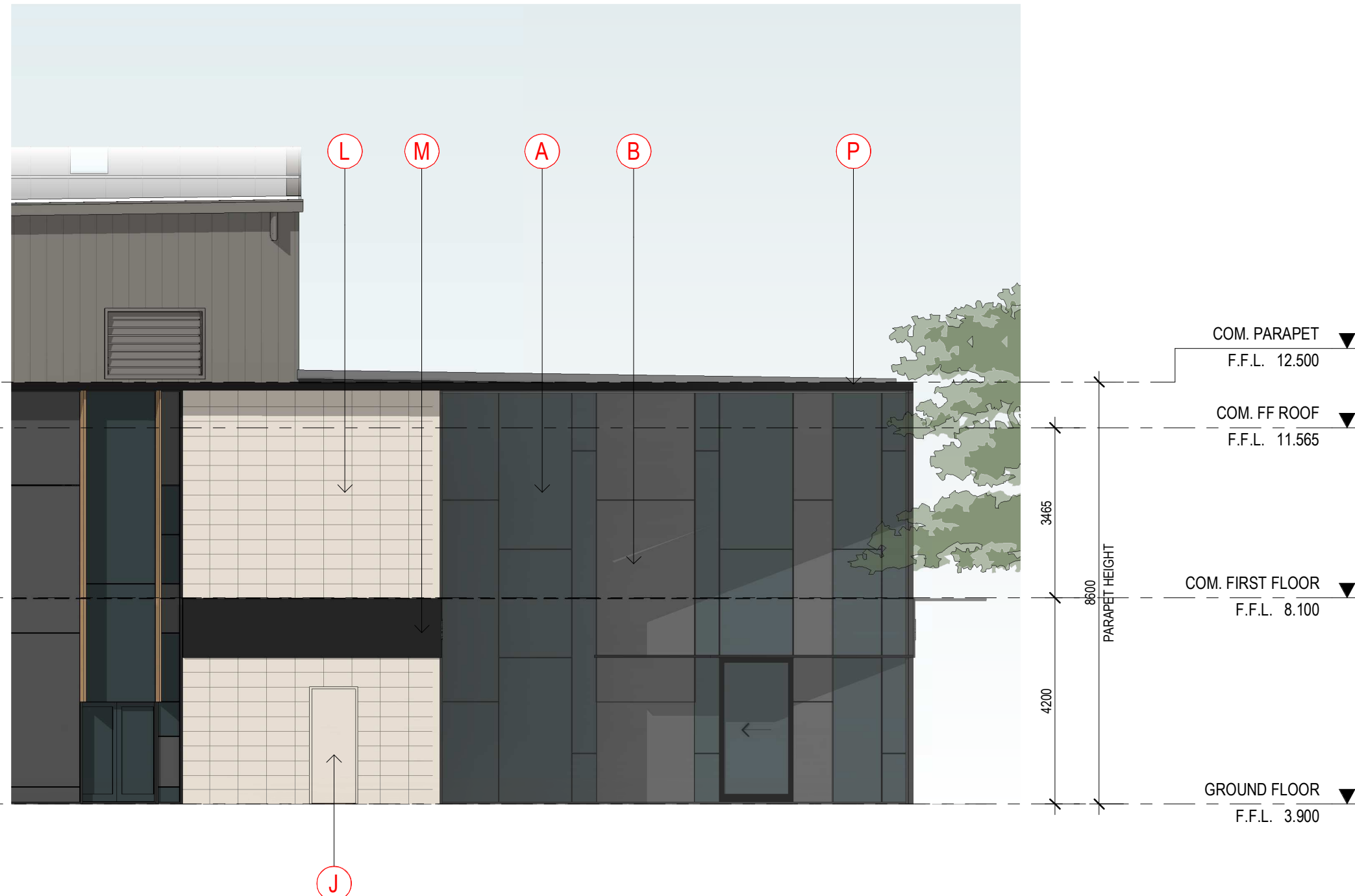
GROSS LETTABLE AREA (GLA) IS THE TOTAL FLOOR AREA OF A BUILDING, MEASURED FROM THE OUTSIDE OF EXTERNAL WALLS OR THE CENTRE OF PARTY WALLS AND INCLUDES ALL ROOFED AREAS
GROSS FLOOR AREA (GFA) IS THE TOTAL FLOOR AREA OF A BUILDING, MEASURED FROM THE INSIDE OF EXTERNAL WALLS OR THE CENTRE OF PARTY WALLS AND INCLUDES ALL ROOFED AREAS

EXTERNAL FINISHES

(A)	ALUMINIUM FRAMED GLAZING	REFLECTIVE GREY TINT GLAZING
(B)	ALUMINIUM FRAMED COLORBACK GLAZING	TINTED DARK GREY
(C)	PRECAST CONCRETE PANEL	UNPAINTED
(D)	FIXED ALUMINIUM VERTICAL BATTENS	TIMBER LOOK
(E)	METAL WALL CLADDING	WALLABY
(F)	METAL WALL CLADDING	MONUMENT
(G)	ROOF CLADDING	ZINCALUME
(H)	ROLLER SHUTTER DOOR CLADDING / PA DOOR	COLORBOND SHALE GREY
(J)	POWDER COATED METAL CLADDED DOOR	VARIES
(K)	DOWNPIPES / CAPPINGS / FASCIAS	COLORBOND WALLABY
(L)	BRICK STACK BOND CLADDING OR SIMILAR	LIGHT GREY / LIGHT BROWN
(M)	ALUMINIUM SIGN, SIDE-LIT	VARIES
(N)	POWDER COATED WINDOW FRAMES	BLACK
(O)	DOCK IDENTIFICATION PLATE	VARIES
(P)	FEATURE ALUMINIUM FRAME	BLACK
(Q)	MECHANICAL LOUVRES	WALLABY
(R)	MECHANICAL LOUVRES	MONUMENT
(S)	ALUMINIUM FRAMED POLYCARBONATE PANEL	TRANSLUCENT / WHITE
(T)	METAL WALL CLADDING	SHALE GREY
(U)	OUTDOOR AREA FENCE	MODWOOD OR SIMILAR
(V)	STRUCTURAL COLUMN	BLACK
(X)	TEXTURED PRECAST CONCRETE PANEL RECESSED	UNPAINTED
(Z)	PRECAST CONCRETE PANEL, PAINTED	VARIES



COMMERCIAL - NORTH ELEVATION
SCALE: 1 : 100



COMMERCIAL - SOUTH ELEVATION
SCALE: 1 : 100



No.	DATE	REVISION	BY	CHK
P7	06.09.2023	90% DA ISSUE	IK	SC
P8	25.09.2023	ISSUE FOR APPROVAL	IK	SC
A	28.09.2023	FOR LODGEMENT	AS	JF
B	04.10.2024	FOR LODGEMENT	AS	JF
C	17.10.2024	FOR LODGEMENT	ST	JF

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PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
BUILDING 5C
ELEVATIONS - COMMERCIAL

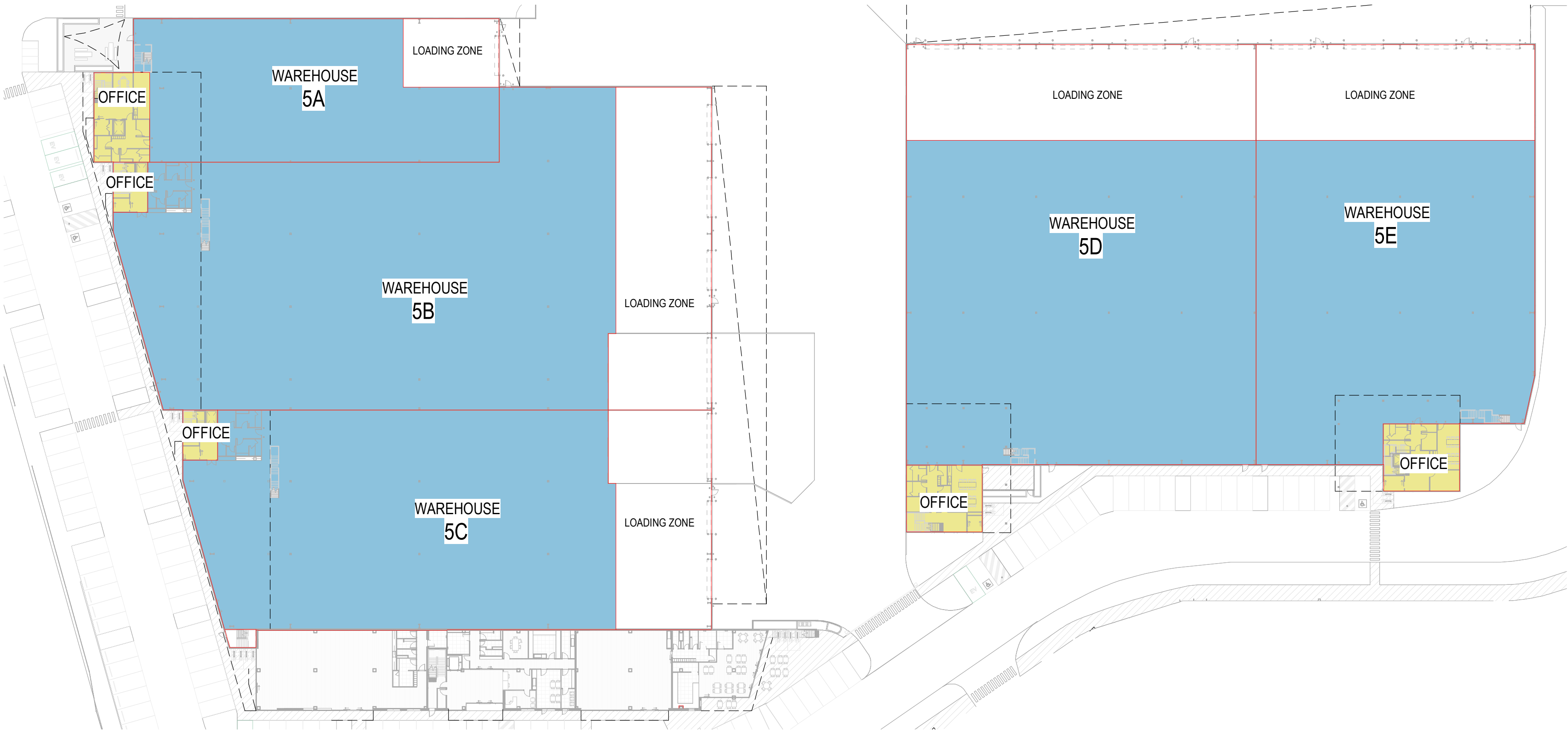
CLIENT:

Aliro A

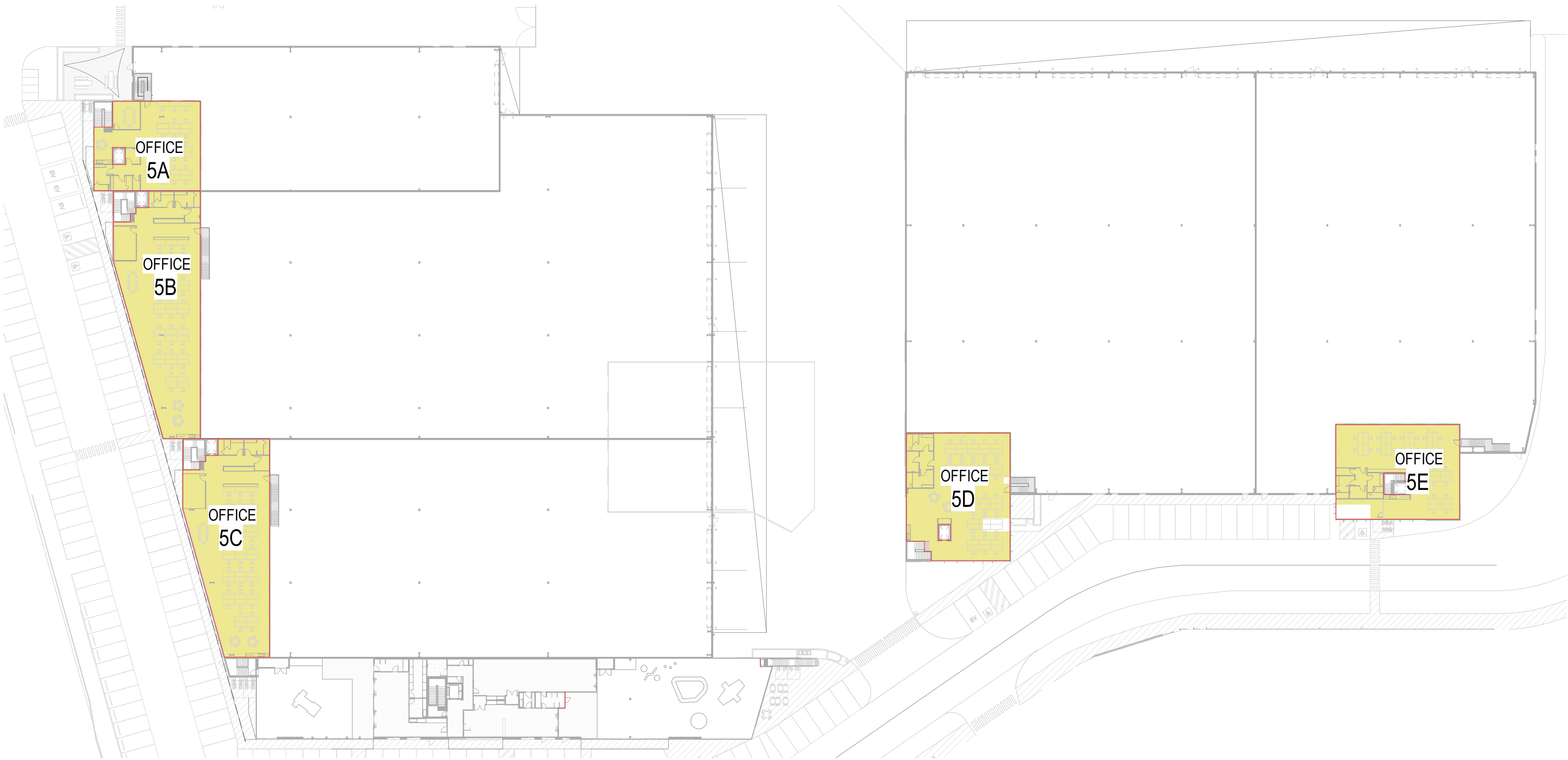
DATE: FEBRUARY, 2024
DRAWN BY: IK
SCALE: 1 : 100 @ B1
SCALE:

JOB NO.	21366
DRAWING NO.	522
REVISION	C

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GFA AREA PLAN - GROUND FLOOR
SCALE: 1 : 500



GFA AREA PLAN - FIRST FLOOR
SCALE: 1 : 500

METHOD OF MEASUREMENT- GFA

AS PER THE NSW LEGISLATION DEFINITION

GROSS FLOOR AREA (GFA) MEANS THE SUM OF THE FLOOR AREA OF EACH FLOOR OF A BUILDING MEASURED FROM THE INTERNAL FACE OF EXTERNAL WALLS, OR FROM THE INTERNAL FACE OF WALLS SEPARATING THE BUILDING FROM ANY OTHER BUILDING, MEASURED AT A HEIGHT OF 1.4 METRES ABOVE THE FLOOR, AND INCLUDES:

- (A) THE AREA OF A MEZZANINE, AND
- (B) HABITABLE ROOMS IN A BASEMENT OR AN ATTIC, AND
- (C) ANY SHOP, AUDITORIUM, CINEMA, AND THE LIKE, IN A BASEMENT OR ATTIC, BUT EXCLUDES:
- (D) ANY AREA FOR COMMON VERTICAL CIRCULATION, SUCH AS LIFTS AND STAIRS, AND
- (E) ANY BASEMENT:
- (I) STORAGE, AND
- (II) VEHICULAR ACCESS, LOADING AREAS, GARBAGE AND SERVICES, AND
- (F) PLANT ROOMS, LIFT TOWERS AND OTHER AREAS USED EXCLUSIVELY FOR MECHANICAL SERVICES OR DUCTING, AND
- (G) CAR PARKING TO MEET ANY REQUIREMENTS OF THE CONSENT AUTHORITY (INCLUDING ACCESS TO THAT CAR PARKING), AND
- (H) ANY SPACE USED FOR THE LOADING OR UNLOADING OF GOODS (INCLUDING ACCESS TO IT), AND
- (I) TERRACES AND BALCONIES WITH OUTER WALLS LESS THAN 1.4 METRES HIGH, AND
- (J) VOIDS ABOVE A FLOOR AT THE LEVEL OF A STOREY OR STOREY ABOVE.

GFA DEVELOPMENT ANALYSIS

EXCLUDING LOADING ZONE

5A	
WAREHOUSE	1,071 m²
OFFICE	333 m²
5B	
WAREHOUSE	3,048 m²
OFFICE	431 m²
5C	
WAREHOUSE	2,164 m²
OFFICE	403 m²
5D	
WAREHOUSE	2,732 m²
OFFICE	424 m²
5E	
WAREHOUSE	2,023 m²
OFFICE	391 m²
TOTAL GFA	13,020 m²

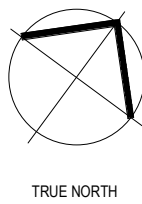
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P2	11.09.2023	ISSUE FOR APPROVAL	AS	JF
A	28.09.2023	FOR LODGEMENT	AS	JF

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PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
BUILDING 5
AREA PLAN (GFA)



CLIENT:



DATE: FEBRUARY, 2024
DRAWN BY: AS
SCALE: 1:500 @ A1
SCALE:

JOB NO:	21366
DRAWING NO:	550
REVISION:	A



DEVELOPMENT ANALYSIS

INTERNAL AREAS	GFA
CAFE	112 m²
CHILDCARE GF	279 m²
CHILDCARE L1	369 m²
TENANT 1	334 m²
TENANT 2	220 m²
TOTAL AREA	1,314 m²

EXTERNAL AREAS	GFA
CHILDCARE OUTDOOR AREA	571 m²

COMMON AREAS	GFA
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TOTAL GFA AREA	1,885 m²
TOTAL CHILDCARE AREA	1,219 m²

METHOD OF MEASUREMENT- GFA
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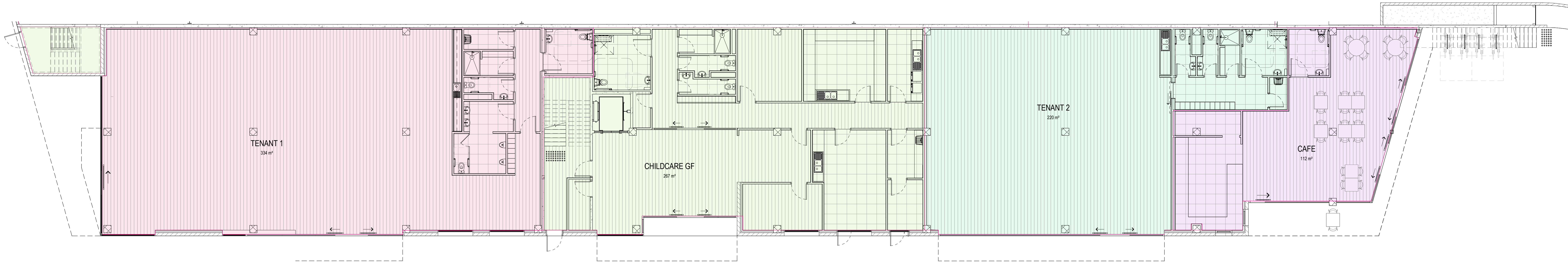
(D) ANY AREA FOR COMMON VERTICAL CIRCULATION, SUCH AS LIFTS AND STAIRS, AND
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DISCLAIMER

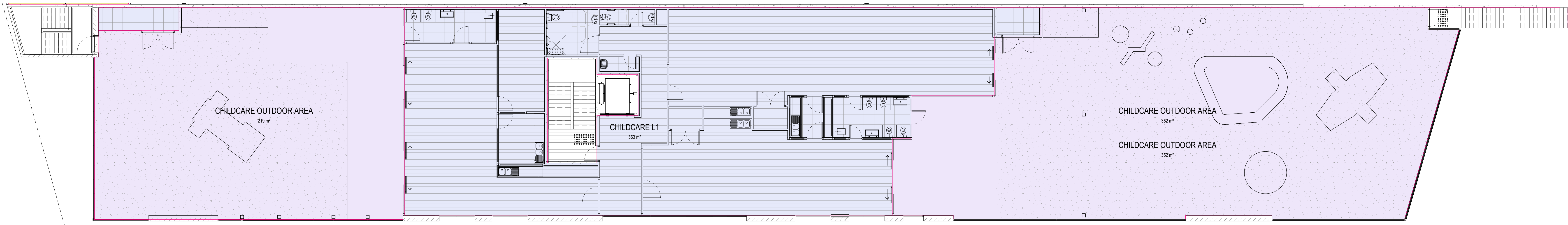
THIS PLAN HAS BEEN PREPARED FOR THE PURPOSES OF CALCULATING GROSS LETTABLE AREA ONLY. FINAL AREAS AND METHOD OF MEASUREMENT SHOULD BE VERIFIED BY THE CLIENT AND/OR LICENSED SURVEYOR

AREAS TABLED HAVE BEEN CALCULATED IN ACCORDANCE WITH THE PROPERTY COUNCIL OF AUSTRALIA METHOD OF MEASUREMENT.

AREAS SHOWN ARE BASED ON WATSON YOUNG ARCHITECTS' INTERPRETATION OF THE METHOD OF MEASUREMENT. ALL CARE HAS BEEN TAKEN IN DETERMINING THIS AREA.



GFA AREA PLAN - GROUND FLOOR
SCALE: 1 : 100



GFA AREA PLAN - FIRST FLOOR
SCALE: 1 : 100

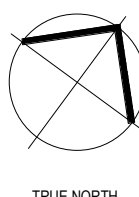
No.	DATE	REVISION	BY	CHK
P3	06.09.2023	90% DA ISSUE	IK	SC
P4	25.09.2023	ISSUE FOR APPROVAL	IK	SC
A	28.09.2023	FOR LODGEMENT	AS	JF
B	09.01.2024	LOOSE FURNITURE REMOVED	CJ	JF
C	04.10.2024	FOR LODGEMENT	AS	JF

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PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
BUILDING 5C
AREA PLAN - COMMERCIAL (GFA)

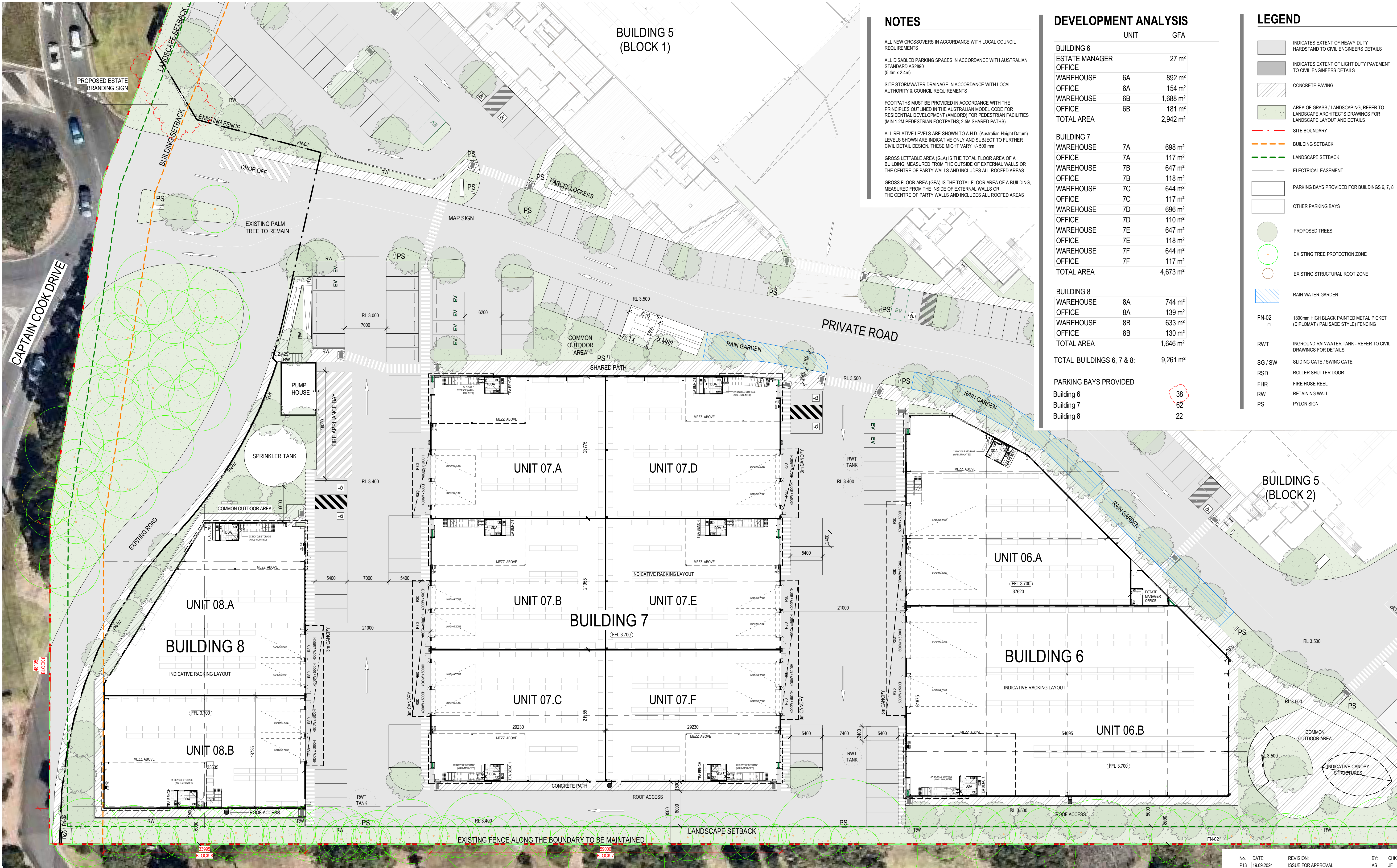


CLIENT:
Aliro

DATE: FEBRUARY, 2024
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SCALE: 1:100 @ B1

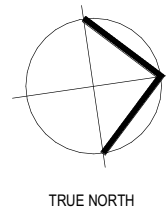
JOB NO.	21366
DRAWING NO.	552
REVISION	C

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PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
BUILDINGS 6, 7 & 8
SITE PLAN



CLIENT:

Aliro

DATE: SEPTEMBER, 2022
DRAWN BY: PR/AS
SCALE: 1:300 @ A1
SCALE:

JOB NO:
21366
DRAWING NO:
600
REVISION:
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No.	DATE:	REVISION:	BY:	CHK:
P13	18.09.2024	ISSUE FOR APPROVAL	AS	JF
P14	25.09.2024	ISSUE FOR APPROVAL	AS	JF
P15	31.09.2024	ISSUE FOR APPROVAL	AS	JF
B	18.10.2024	ISSUE FOR LODGEMENT	AS	JF
C	12.02.2025	ISSUE FOR LODGEMENT	AS	JF

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NOTES

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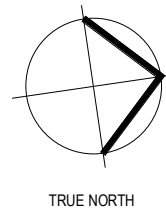
No.	DATE	REVISION	BY	CHK
P4	22.08.2024	ISSUE FOR APPROVAL	AS	JF
P5	19.09.2024	ISSUE FOR APPROVAL	AS	JF
P6	25.09.2024	ISSUE FOR APPROVAL	AS	JF
P7	31.09.2024	ISSUE FOR APPROVAL	AS	JF
B	18.10.2024	FOR LODGEMENT	AS	JF

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PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
BUILDINGS 6, 7 & 8
MEZZANINE FLOOR PLAN



CLIENT:

Aliro

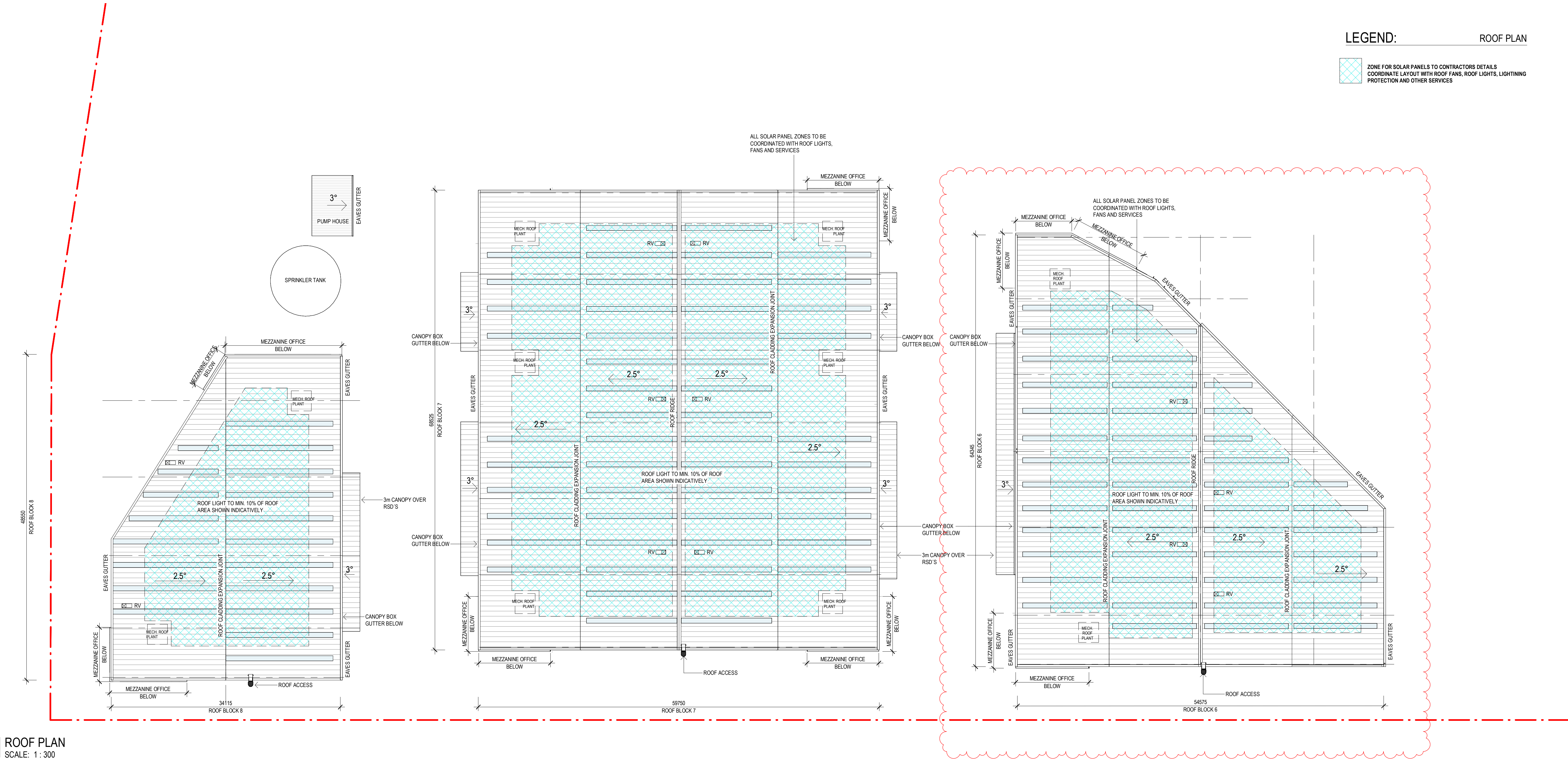
DATE: SEPTEMBER, 2022
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SCALE: 1:300 @ A1
SCALE:

JOB NO:	21366
DRAWING NO:	601
REVISION:	B

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LEGEND: ROOF PLAN

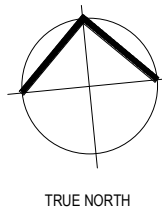
ZONE FOR SOLAR PANELS TO CONTRACTORS DETAILS
COORDINATE LAYOUT WITH ROOF FANS, ROOF LIGHTS, LIGHTNING
PROTECTION AND OTHER SERVICES



ROOF PLAN
SCALE: 1 : 300

PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
BUILDINGS 6, 7, & 8
ROOF PLAN



CLIENT:

Aliro

DATE: SEPTEMBER, 2022
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SCALE: 1:300 @ A1
SCALE:

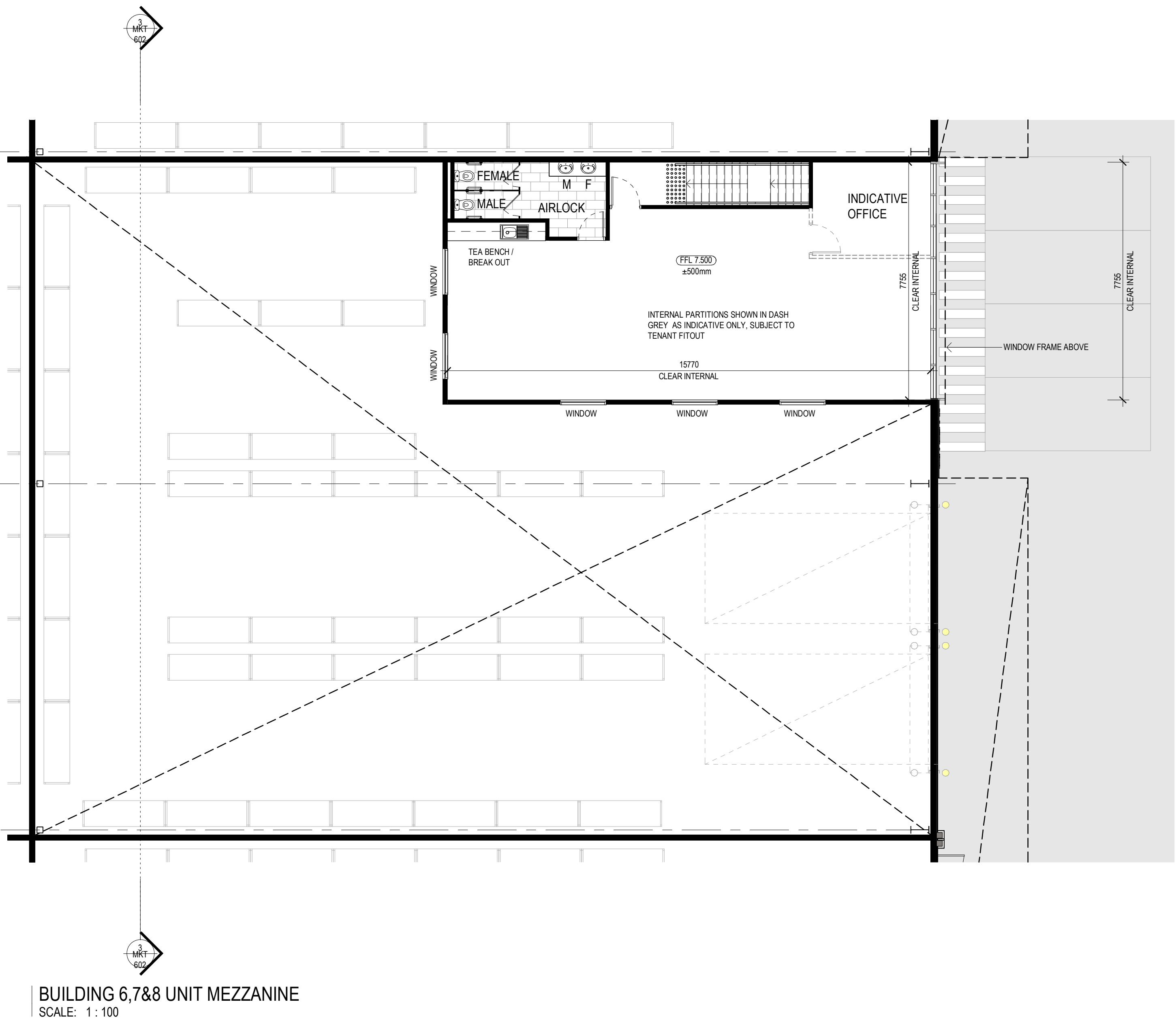
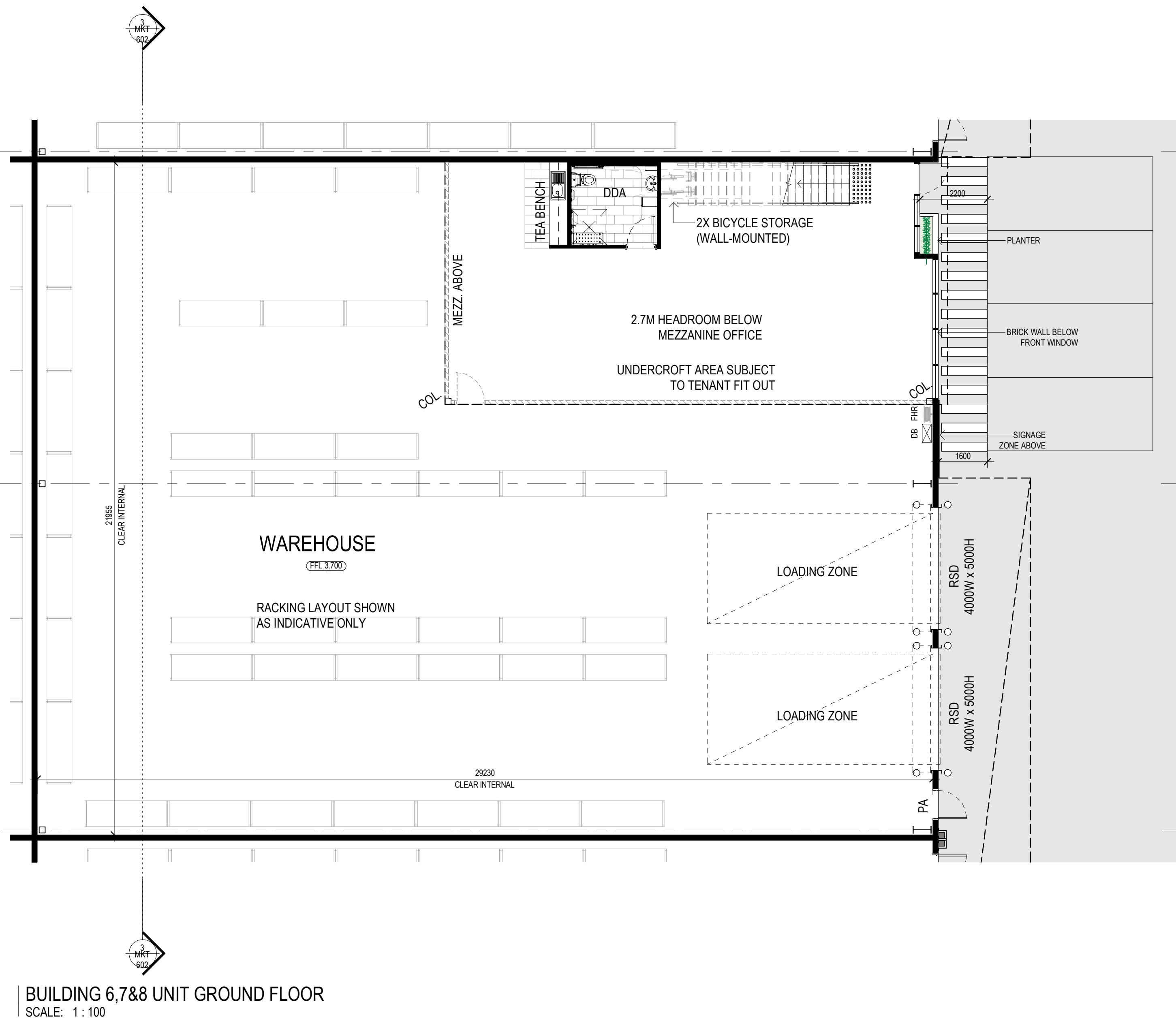
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No.	DATE:	REVISION:	BY:	CHK:
P4	06.09.2023	ISSUE FOR APPROVAL	PR	JF
A	28.09.2023	FOR LODGEMENT	AS	JF
P5	25.09.2024	ISSUE FOR APPROVAL	AS	JF
P6	31.09.2024	ISSUE FOR APPROVAL	AS	JF
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BUILDING 6,7&8 UNIT GROUND FLOOR
SCALE: 1 : 100

BUILDING 6,7&8 UNIT MEZZANINE
SCALE: 1 : 100

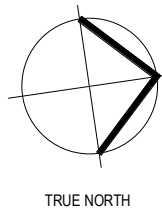
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P4	03.07.2023	PRELIMINARY ISSUE	PR	JF
P5	18.07.2023	75% DA ISSUE	PR	JF
P6	22.08.2023	90% DA ISSUE	PR	JF
P7	20.09.2023	ISSUE FOR APPROVAL	PR	JF
A	28.09.2023	FOR LODGEMENT	AS	JF

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PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
BUILDING 3, 6, 7 & 8
TYPICAL UNIT LAYOUT



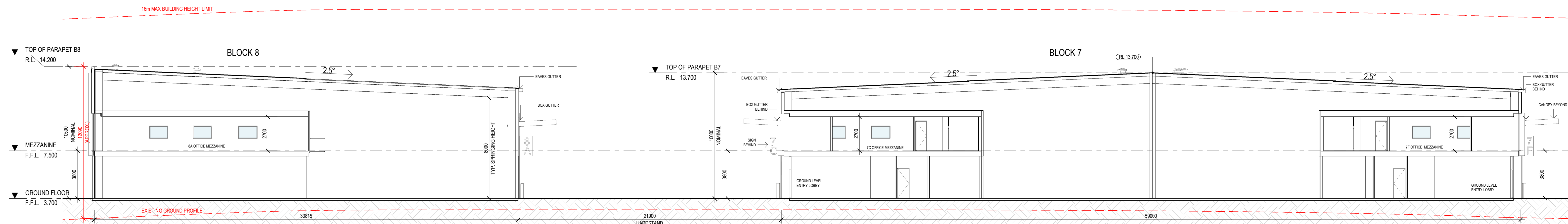
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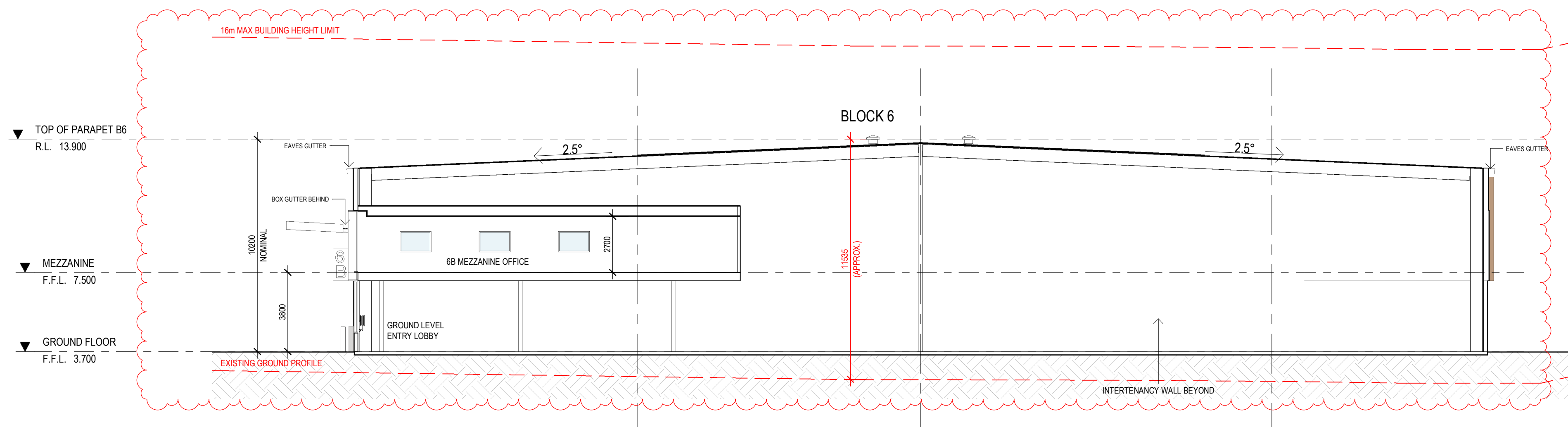
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REVISION:	A

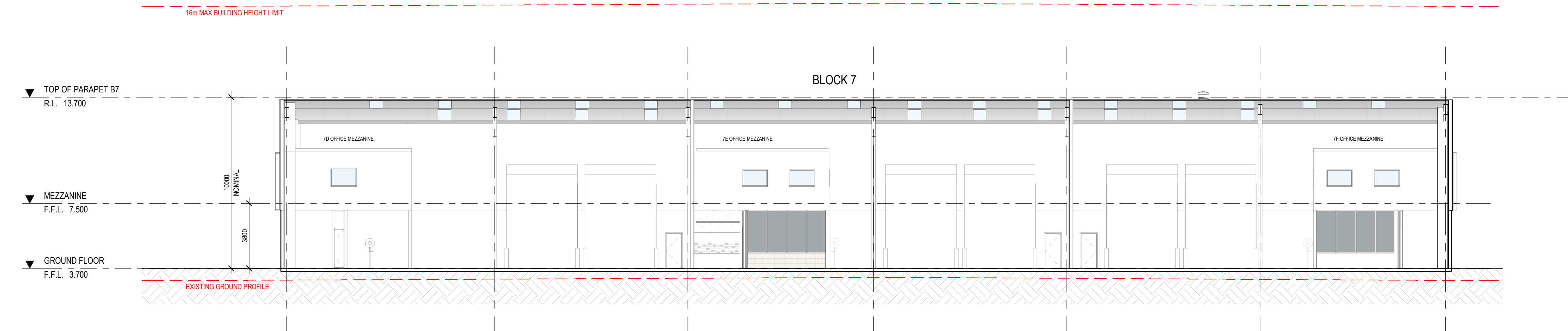




BUILDINGS 7, & 8 LONG SECTION
SCALE: 1 : 150



BUILDINGS 6 LONG SECTION
SCALE: 1 : 150



BUILDING 7 CROSS SECTION
SCALE: 1 : 150

NOTES

- ALL NEW CROSSOVERS IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS
- ALL DISABLED PARKING SPACES IN ACCORDANCE WITH AUSTRALIAN STANDARD AS2890 (5.4m x 2.4m)
- SITE STORMWATER DRAINAGE IN ACCORDANCE WITH LOCAL AUTHORITY & COUNCIL REQUIREMENTS
- FOOTPATHS MUST BE PROVIDED IN ACCORDANCE WITH THE PRINCIPLES OUTLINED IN THE AUSTRALIAN MODEL CODE FOR RESIDENTIAL DEVELOPMENT (AMCORD) FOR PEDESTRIAN FACILITIES (MIN 1.2M PEDESTRIAN FOOTPATHS; 2.5M SHARED PATHS)
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P6	25.09.2024	ISSUE FOR APPROVAL	AS	JF
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PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
BUILDINGS 6, 7, & 8
SECTIONS

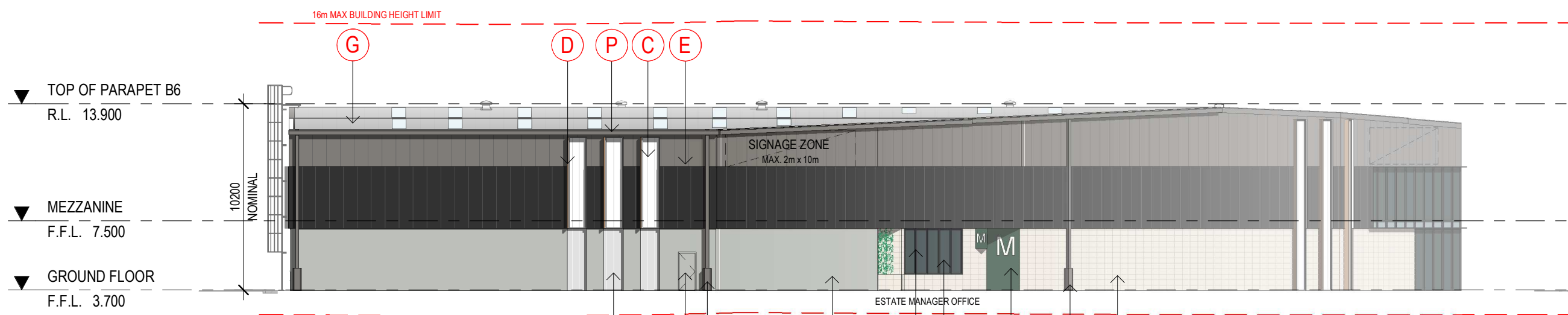
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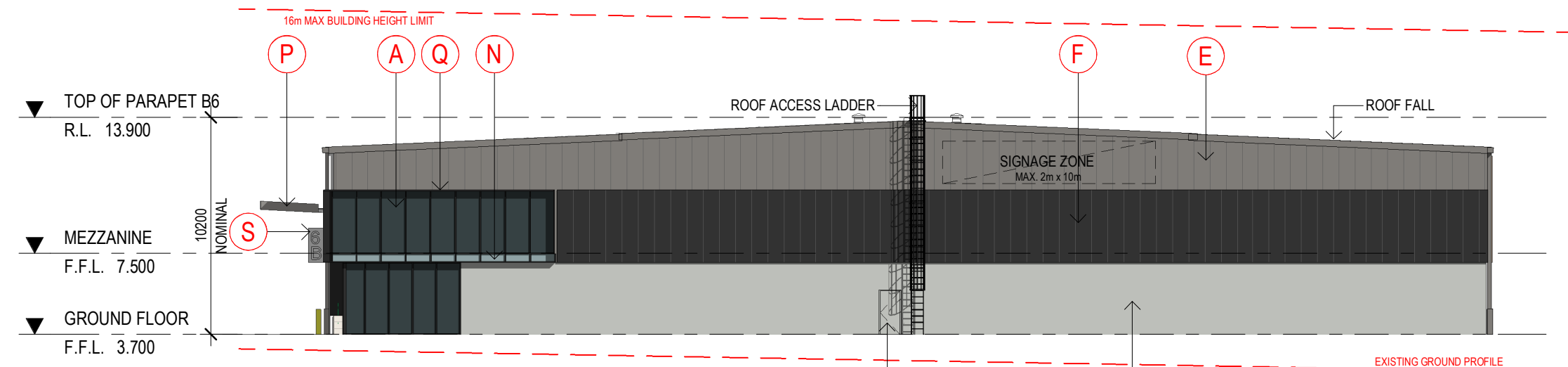
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JOB NO:	21366
DRAWING NO:	610
REVISION:	B

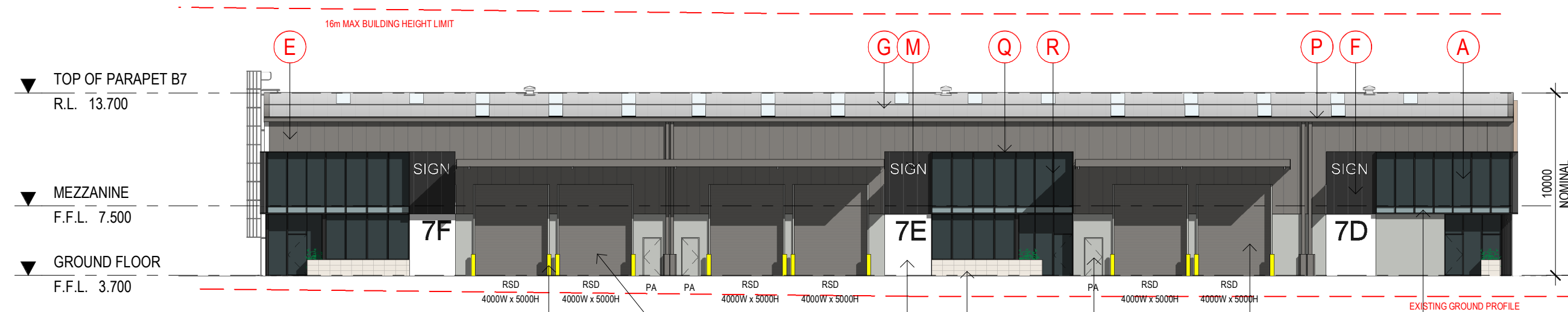
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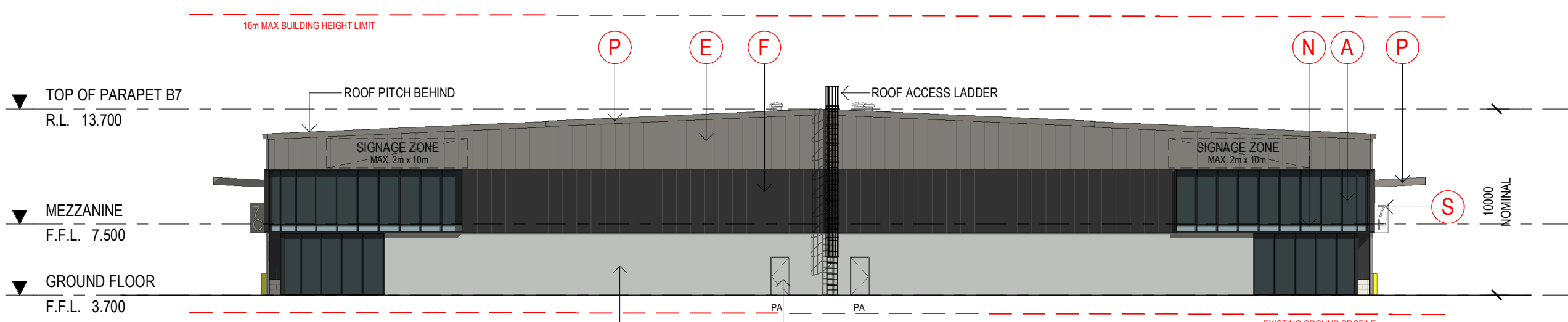
BUILDING 6 NORTH ELEVATION
SCALE: 1 : 250



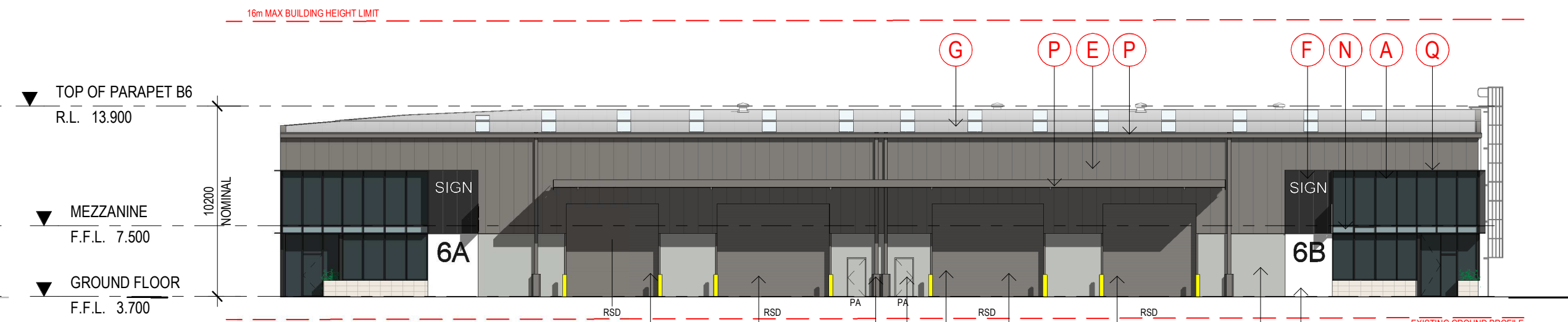
BUILDING 6 EAST ELEVATION
SCALE: 1 : 250



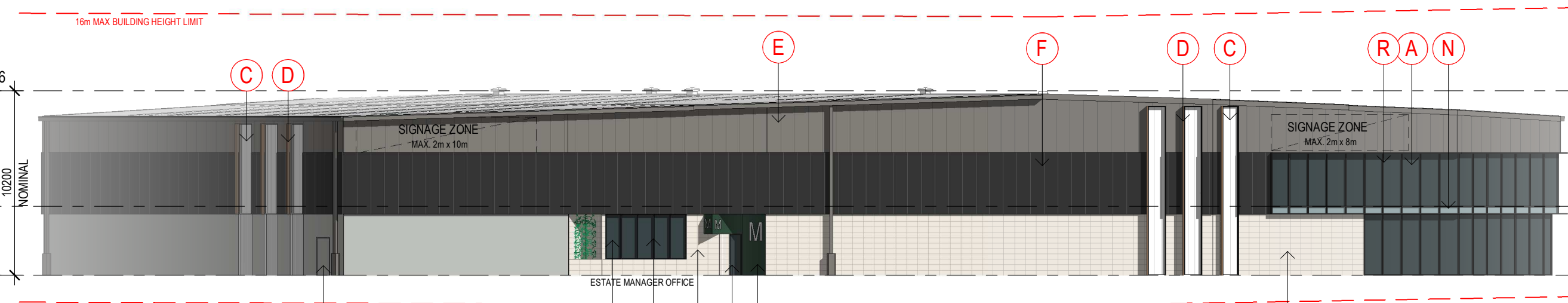
BUILDING 7 NORTH ELEVATION
SCALE: 1 : 250



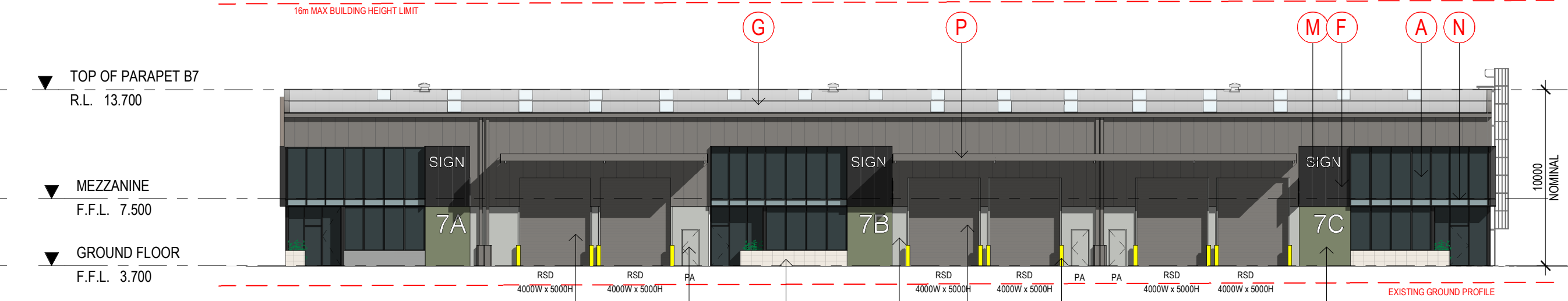
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SCALE: 1 : 250



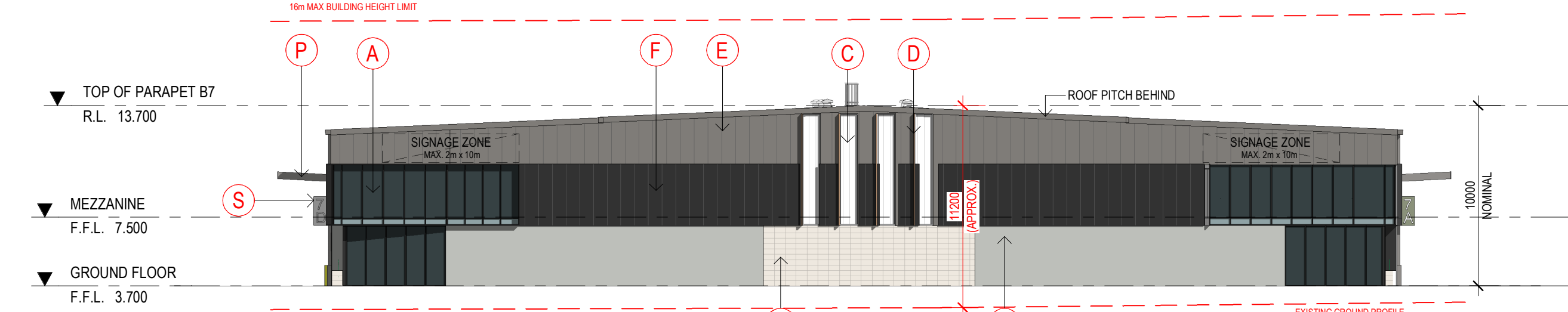
BUILDING 6 SOUTH ELEVATION
SCALE: 1 : 250



BUILDING 6 NORTH-WEST ELEVATION
SCALE: 1 : 250



BUILDING 7 SOUTH ELEVATION
SCALE: 1 : 250



BUILDING 7 WEST ELEVATION
SCALE: 1 : 250

EXTERNAL FINISHES

(A)	ALUMINIUM FRAMED GLAZING	CLEAR GLAZING
(B)	PRECAST CONCRETE PANEL	UNPAINTED
(C)	ALUMINIUM FRAMED POLYCARBONATE PANEL	TRANSLUCENT / WHITE
(D)	FIXED ALUMINIUM VERTICAL BATTENS	TIMBER LOOK
(E)	METAL CLADDING WITH VERTICAL PROFILES	WALLABY
(F)	METAL CLADDING WITH VERTICAL PROFILES	MONUMENT
(G)	ROOF CLADDING	ZINCALUME
(H)	ROLLER SHUTTER DOOR	COLORBOND WALLABY
(J)	PA DOOR	COLORBOND VARIES
(K)	BOLLARDS	SAFETY YELLOW
(L)	STACKBOND BRICK CLADDING	LIGHT BRICK / BROWN
(M)	ALUMINIUM SIDE-LIT SIGNAGE	VARIES
(N)	ALUMINIUM FRAMED COLORBACK GLAZING	TINTED GREY
(P)	DOWNPIPES / FASCIAS / GUTTERS	COLORBOND WALLABY
(Q)	FEATURE ALUMINIUM FRAME	BLACK
(R)	POWDER COATED WINDOW FRAMES	BLACK
(S)	PAINTED PRECAST	VARIES

TENANT NUMBERING SHOWN INDICATIVE ONLY

No.	DATE	REVISION	BY	CHK
P6	20.09.2023	ISSUE FOR APPROVAL	PR	JF
A	28.09.2023	FOR LODGEMENT	AS	JF
P7	25.09.2024	ISSUE FOR APPROVAL	AS	JF
P8	31.09.2024	ISSUE FOR APPROVAL	AS	JF
B	18.10.2024	FOR LODGEMENT	AS	JF

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PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
BUILDINGS 6 & 7
ELEVATIONS

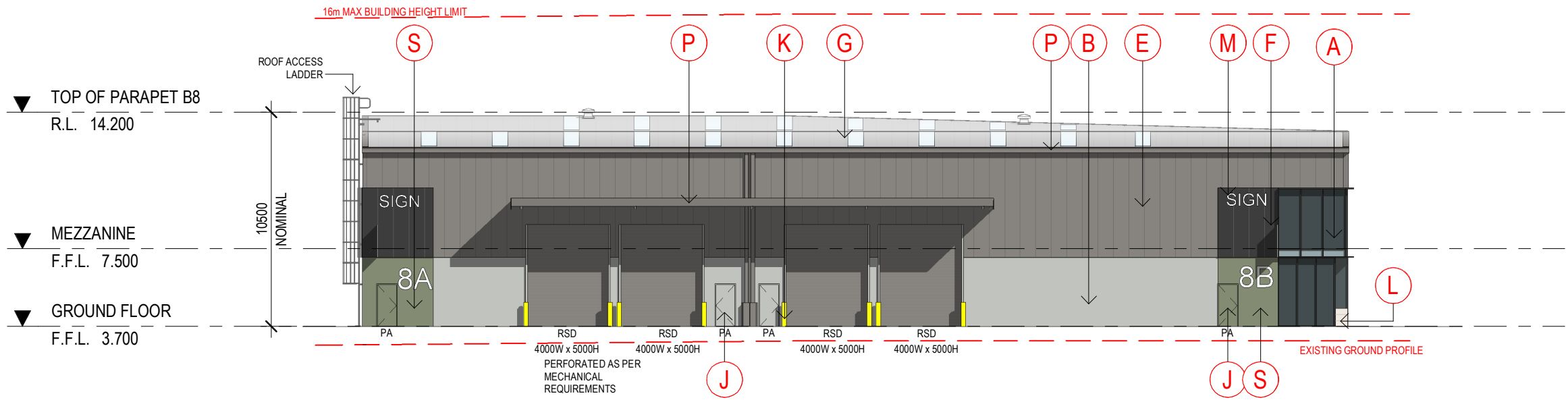
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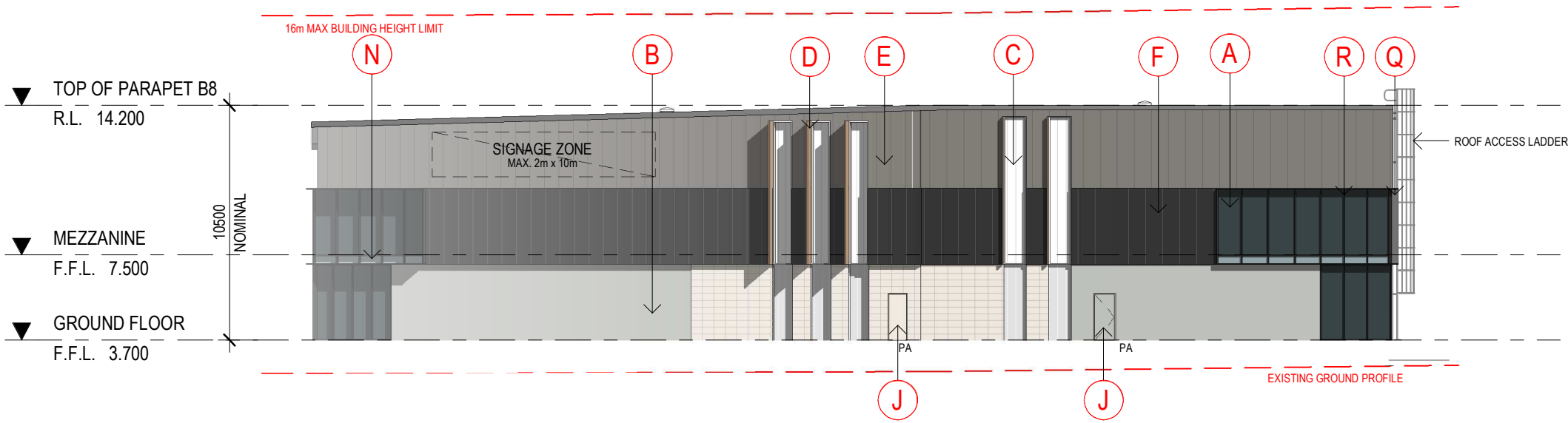
DATE: SEPTEMBER, 2022
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JOB NO:	21366
DRAWING NO:	620
REVISION:	B

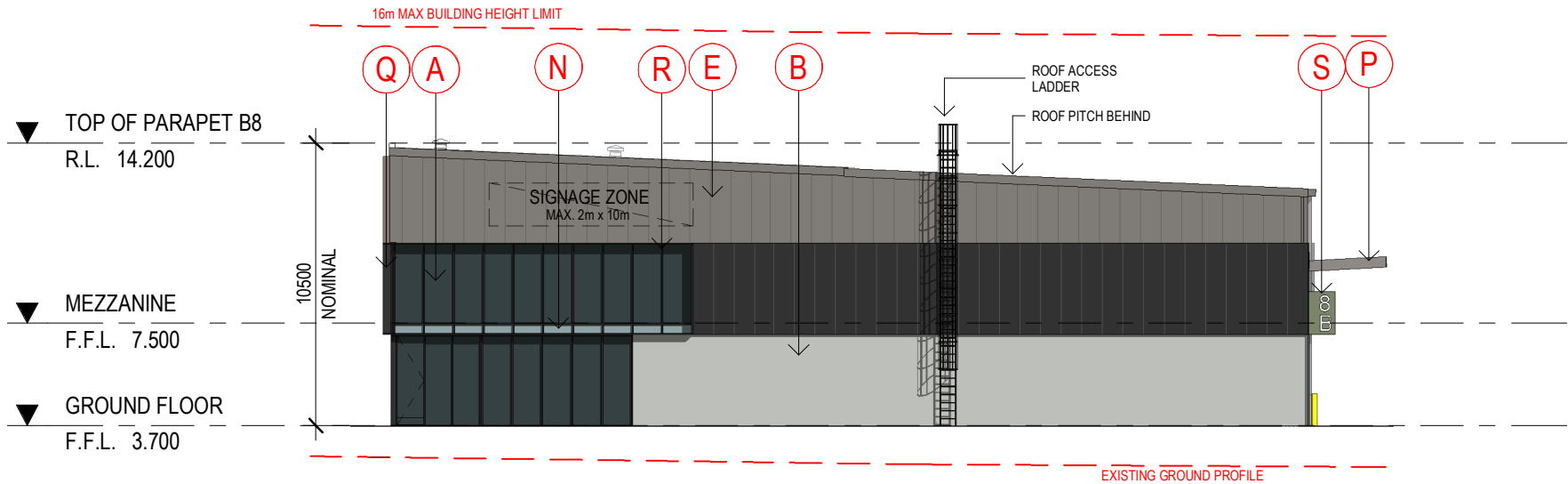
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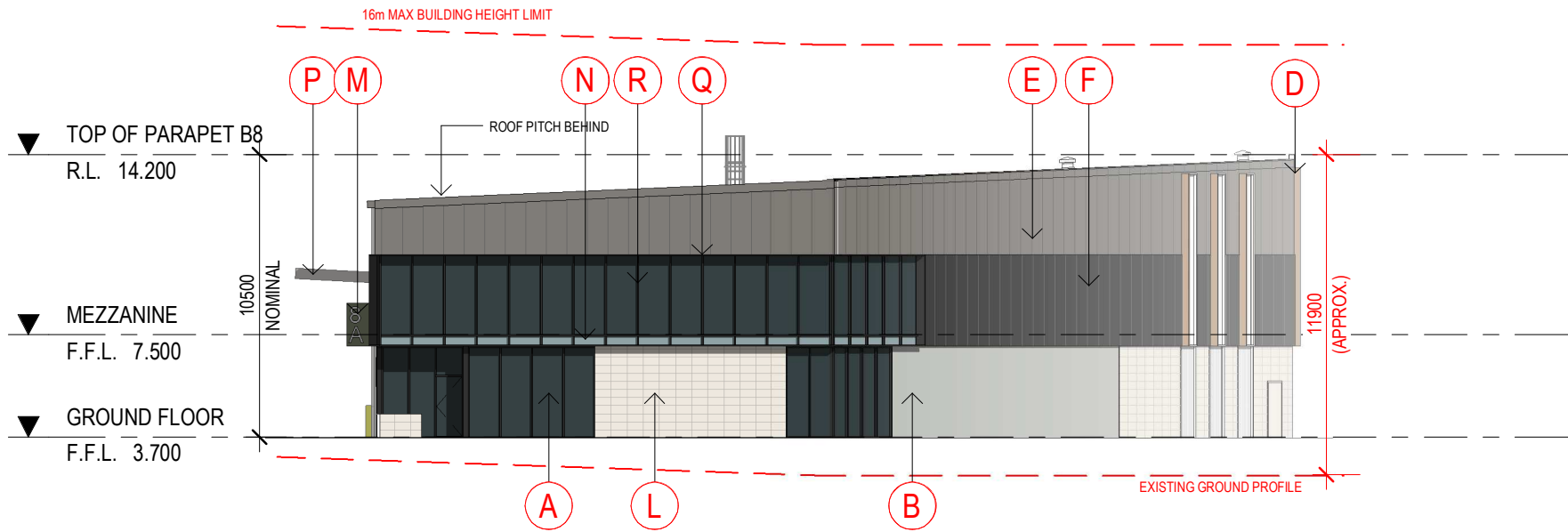
BUILDING 8 NORTH ELEVATION
SCALE: 1 : 250



BUILDING 8 SOUTH ELEVATION
SCALE: 1 : 250



BUILDING 8 EAST ELEVATION
SCALE: 1 : 250



BUILDING 8 WEST ELEVATION
SCALE: 1 : 250

EXTERNAL FINISHES

(A)	ALUMINIUM FRAMED GLAZING	CLEAR GLAZING
(B)	PRECAST CONCRETE PANEL	UNPAINTED
(C)	ALUMINIUM FRAMED POLYCARBONATE PANEL	TRANSLUCENT / WHITE
(D)	FIXED ALUMINIUM VERTICAL BATTENS	TIMBER LOOK
(E)	METAL CLADDING WITH VERTICAL PROFILES	WALLABY
(F)	METAL CLADDING WITH VERTICAL PROFILES	MONUMENT
(G)	ROOF CLADDING	ZINCALUME
(H)	ROLLER SHUTTER DOOR	COLORBOND WALLABY
(J)	PA DOOR	COLORBOND VARIES
(K)	BOLLARDS	SAFETY YELLOW
(L)	STACKBOND BRICK CLADDING	LIGHT BRICK / BROWN
(M)	ALUMINIUM SIDE-LIT SIGNAGE	VARIES
(N)	ALUMINIUM FRAMED COLORBACK GLAZING	TINTED GREY
(P)	DOWNPIPES / FASCIAS / GUTTERS	COLORBOND WALLABY
(Q)	FEATURE ALUMINIUM FRAME	BLACK
(R)	POWDER COATED WINDOW FRAMES	BLACK
(S)	PAINTED PRECAST	VARIES

TENANT NUMBERING SHOWN INDICATIVE ONLY

No.	DATE:	REVISION:	BY:	CHK:
P2	22.08.2023	90% DA ISSUE	PR	JF
P3	01.09.2023	90% DA ISSUE	PR	JF
P4	06.09.2023	ISSUE FOR APPROVAL	PR	JF
P5	20.09.2023	ISSUE FOR APPROVAL	PR	JF
A	28.09.2023	FOR LODGEMENT	AS	JF

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PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
BUILDING 8
ELEVATIONS

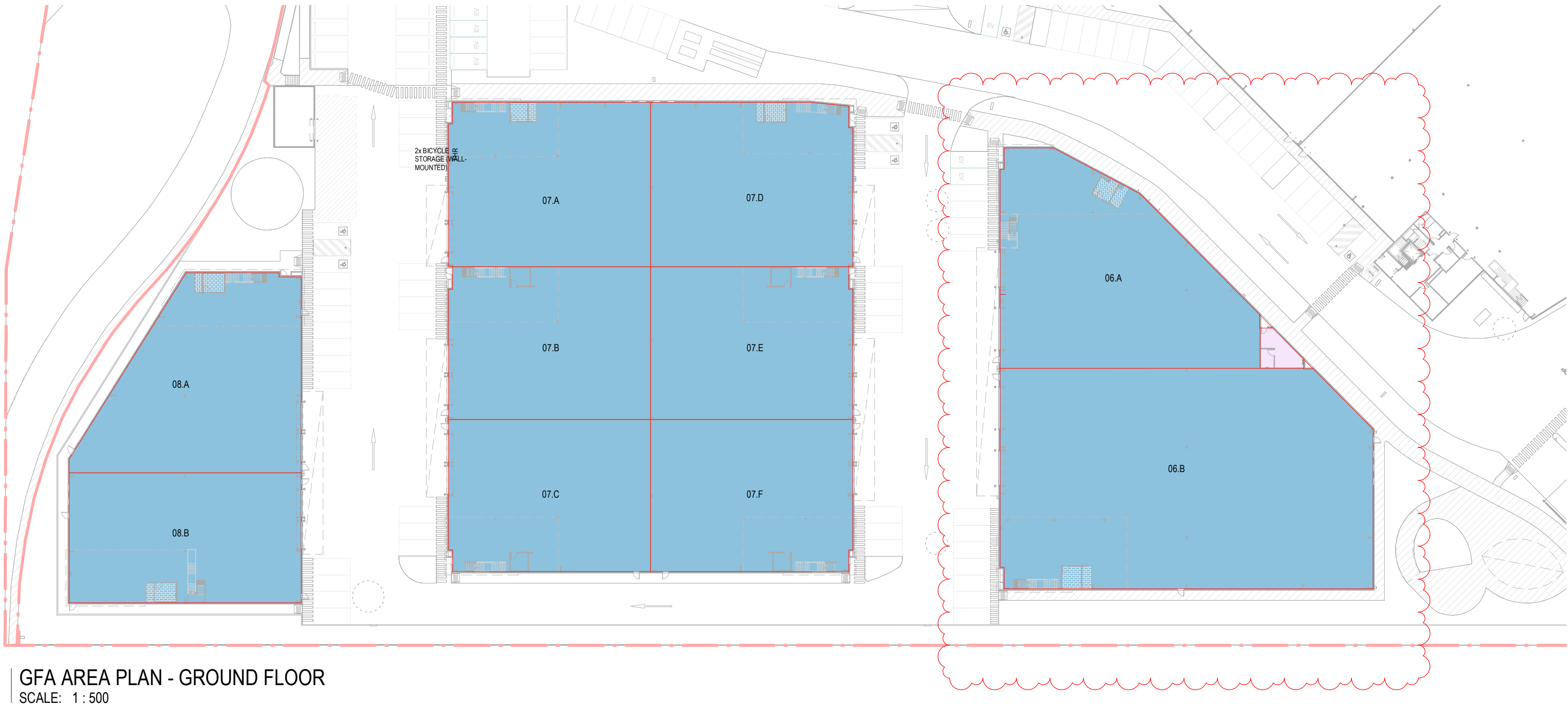
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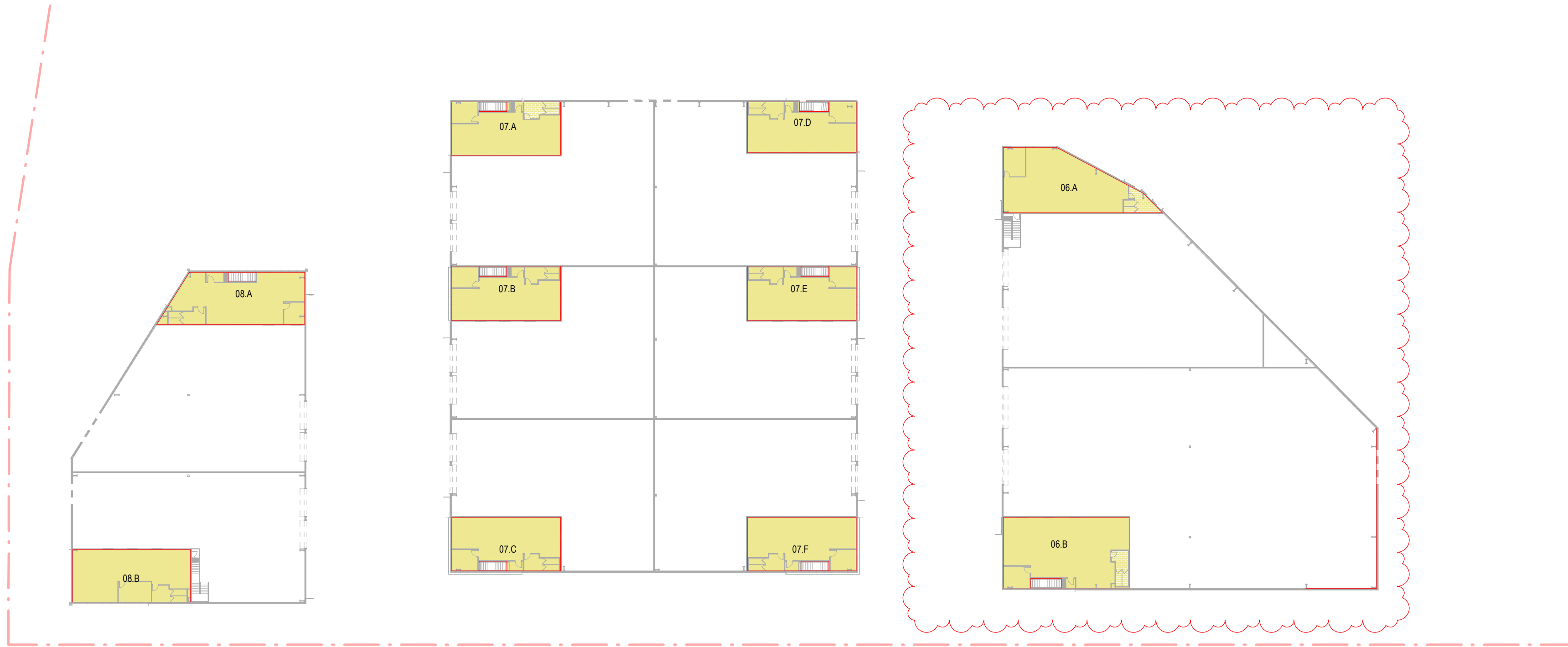
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DRAWN BY: PR
SCALE: 1:250 @ A1
SCALE:

JOB NO:	21366
DRAWING NO:	621
REVISION:	A

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GFA AREA PLAN - GROUND FLOOR
SCALE: 1 : 500



GFA AREA PLAN - MEZZANINE
SCALE: 1 : 500

METHOD OF MEASUREMENT- GFA

AS PER THE NSW LEGISLATION DEFINITION

GROSS FLOOR AREA (GFA) MEANS THE SUM OF THE FLOOR AREA OF EACH FLOOR OF A BUILDING MEASURED FROM THE INTERNAL FACE OF EXTERNAL WALLS, OR FROM THE INTERNAL FACE OF WALLS SEPARATING THE BUILDING FROM ANY OTHER BUILDING, MEASURED AT A HEIGHT OF 1.4 METRES ABOVE THE FLOOR, AND INCLUDES:

- (A) THE AREA OF A MEZZANINE, AND
- (B) HABITABLE ROOMS IN A BASEMENT OR AN ATTIC, AND
- (C) ANY SHOP, AUDITORIUM, CINEMA, AND THE LIKE, IN A BASEMENT OR ATTIC, BUT EXCLUDES:
- (D) ANY AREA FOR COMMON VERTICAL CIRCULATION, SUCH AS LIFTS AND STAIRS, AND
- (E) ANY BASEMENT;
- (I) STORAGE, AND
- (II) VEHICULAR ACCESS, LOADING AREAS, GARBAGE AND SERVICES, AND
- (F) PLANT ROOMS, LIFT TOWERS AND OTHER AREAS USED EXCLUSIVELY FOR MECHANICAL SERVICES OR DUCTINGS, AND
- (G) CAR PARKING TO MEET ANY REQUIREMENTS OF THE CONSENT AUTHORITY (INCLUDING ACCESS TO THAT CAR PARKING), AND
- (H) ANY SPACE USED FOR THE LOADING OR UNLOADING OF GOODS (INCLUDING ACCESS TO IT), AND
- (I) TERRACES AND BALCONIES WITH OUTER WALLS LESS THAN 1.4 METRES HIGH, AND
- (J) VOIDS ABOVE A FLOOR AT THE LEVEL OF A STOREY OR STOREY ABOVE.

DEVELOPMENT ANALYSIS

	UNIT	GFA
BUILDING 6		
ESTATE MANAGER OFFICE		27 m ²
WAREHOUSE	6A	892 m ²
OFFICE	6A	154 m ²
WAREHOUSE	6B	1,688 m ²
OFFICE	6B	181 m ²
TOTAL AREA		2,942 m ²

BUILDING 7		
WAREHOUSE	7A	698 m ²
OFFICE	7A	117 m ²
WAREHOUSE	7B	647 m ²
OFFICE	7B	118 m ²
WAREHOUSE	7C	644 m ²
OFFICE	7C	117 m ²
WAREHOUSE	7D	696 m ²
OFFICE	7D	110 m ²
WAREHOUSE	7E	647 m ²
OFFICE	7E	118 m ²
WAREHOUSE	7F	644 m ²
OFFICE	7F	117 m ²
TOTAL AREA		4,673 m ²

BUILDING 8		
WAREHOUSE	8A	744 m ²
OFFICE	8A	139 m ²
WAREHOUSE	8B	633 m ²
OFFICE	8B	130 m ²
TOTAL AREA		1,646 m ²
TOTAL GFA		9,261 m ²

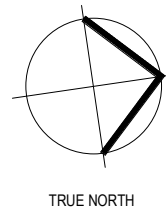
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PROJECT:
CARINGBAH MASTERPLAN
13 ENDEAVOUR ROAD, CARINGBAH NSW 2229

TITLE:
BUILDINGS 6, 7 & 8
AREA PLANS (GFA)



CLIENT:

Aliro A

DATE: SEPTEMBER, 2022
DRAWN BY: PR
SCALE: 1:500 @ A1
SCALE:

JOB NO:	21366
DRAWING NO:	650
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